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ventura county general plan
area plan
for the
piru area



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area plan

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VENTURA COUNTY GENERAL PLAN AREA PLAN FOR THE PIRU AREA OF INTEREST

Adopted by the Ventura County Board of Supervisors - December 16, 1986

Amended - May 24, 1988

Amended - December 19, 1989

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PIRU AREA PLAN

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INTRODUCTION

PURPOSE

The Piru Area Plan is an integral part of the Ventura County General Plan serving as the Land Use Plan for the Piru Area of Interest (see Figure 1). This Plan governs the distribution, general location, and extent of the uses of the land for housing, business, industry, open space, agriculture, and community facilities.

AREA PLAN CHRONOLOGY

In November of 1963, the Board of Supervisors adopted the "1985" General Plan for Ventura County. This plan contained area plans for various geographic areas of the County. The Fillmore-Piru Area Plan projected a population for the Fillmore-Piru area of approximately 40,000 people by 1985. That 1963 projection, turned out to be an overestimate. The 1963 projection was reflective of the thought that the County would continue to grow as rapidly as in previous decades. The City of Fillmore adopted a new General Plan in 1967 which then superseded the County's Fillmore-Piru Area Plan. In June of 1973, the County Open Space Plan was adopted. In December of 1974, the Fillmore portion of the Area Plan was deleted and the Piru portion was amended to accommodate a then proposed paper/plastic cup manufacturing business (Solo Cup Company). In portions of Piru, the uses allowed by the Open Space Plan and the Piru Area Plan conflicted. From 1973 to 1986, the more restrictive of the two plans dictated the allowable land uses. One of the objectives of the December 1986 adopted Plan was to eliminate those conflicts.

An Amendment to the Area Plan was adopted in May 1988 as part of the reformatting of the Countywide General Plan. In December 1989, Area Plan tables were updated to reflect minor County-wide policy changes to building intensity standards. An Amendment adopted in November 1992 provided the land use redesignations necessary to achieve consistency with a zone change to accommodate a low and moderate income housing project located southwest of Main and Via Fustero, within the Urban boundary. An update to the Piru Area Plan was adopted by the Board of Supervisors in December 1996 to remove the superfluous Glossary and to bring certain text, programs, and tables into consistency with a concurrent Countywide General Plan amendment.

RELATIONSHIP TO COUNTY GENERAL PLAN

The Ventura County General Plan is the Plan by which the unincorporated portions of Ventura County will develop in the future. The Ventura County General Plan consists of: (a) Countywide Goals, Policies, and Programs document containing four chapters (Resources, Hazards, Land Use, and Public Facilities and Services); (b) four appendices (Resources, Hazards, Land Use, and Public Facilities and Services) which contain background information and data in support of the Countywide Goals, Policies and Programs; and (c) several area plans which contain specific goals, policies, and programs for specific geographic areas of the County. This Piru Plan is the Area Plan for the Piru Area of Interest.

DEFINITIONS

The goals, policies and programs in this Area Plan express the intent of the Board of Supervisors, with input from the community of Piru and those governmental agencies responsible for providing services to the area. Goals, policies and programs are defined below:

Goal - The ultimate purpose of the County's effort stated in a way that is general in nature. Example: "To maintain the existing early 1900's small town character of Piru."

Policy - A specific statement guiding day-to-day actions and implying clear commitment to carry out the goals of the General Plan in a prescribed manner. Example: "Development which would obscure views of the Piru Mansion shall be discouraged."

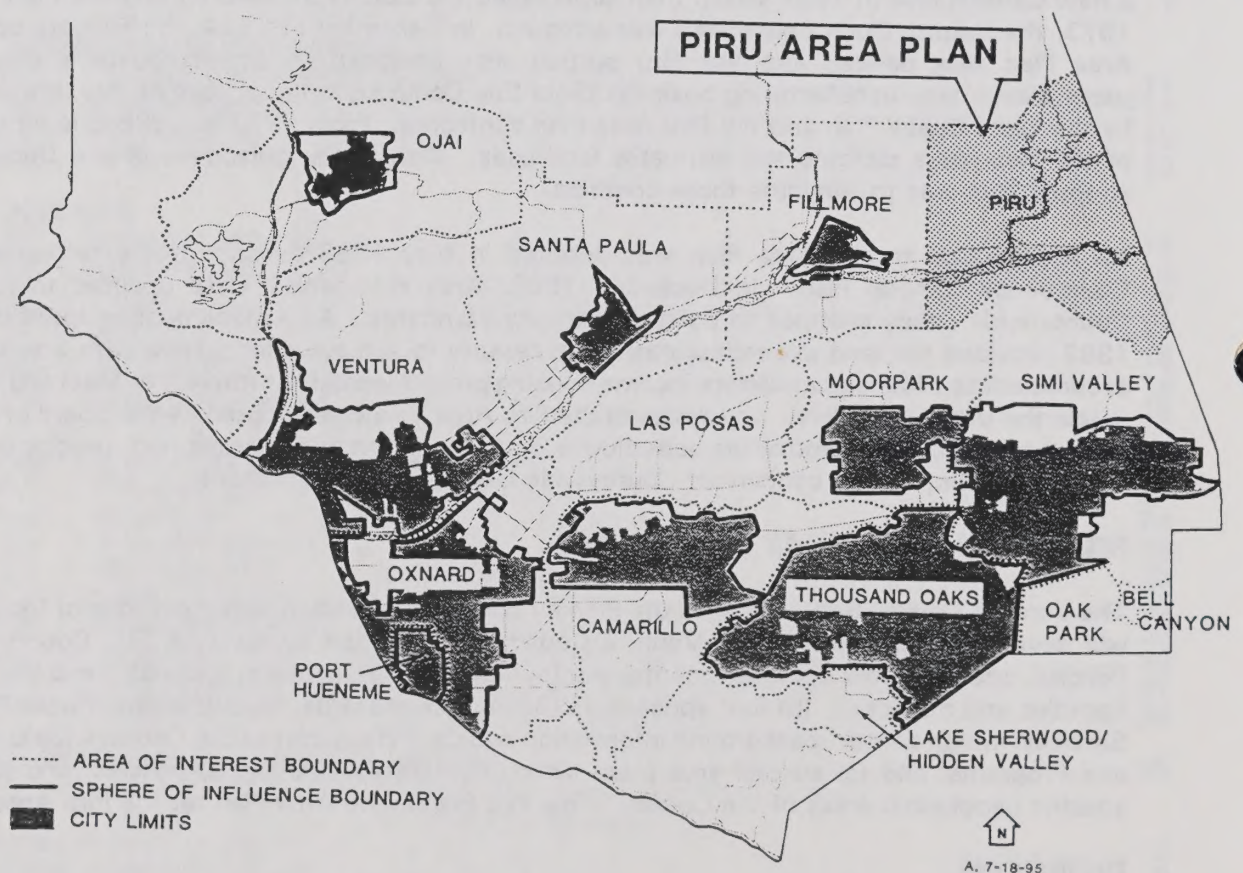
Program -

A coordinated set of actions to carry out the goals of the Plan. Example: "The Area Housing Authority shall continue to administer the Section 8 Colina Vista residential project, comprised of 35 single-family rental units, located east of Main Street and north of Citrus View Drive.

An asterisk (*) next to a program means that particular program will not be pursued until the budgetary constraints affecting the County are relieved and the Planning Division is given direction by the Board of Supervisors to proceed with the program.

This area plan's goals, policies and programs are divided into four major sections as follows:

1. Resources
2. Hazards
3. Land Use
4. Public Facilities and Services



**VENTURA COUNTY
AREAS OF INTEREST
FIGURE 1**

GOALS, POLICIES AND PROGRAMS

1. RESOURCES

1.1 SAND AND GRAVEL

1.1.1 *Goals*

1. Protect aggregate mineral resources and provide for the orderly, timely, efficient, safe, and non-impactive mining of the resource.
2. Avoid land uses which would preclude or hamper access to, or extraction of, significant mineral deposits.
3. Minimize the land use incompatibility between possible future mining activity and uses which may be impacted by such activity (e.g., residential).

1.1.2 *Policies*

1. Sand and gravel mining projects shall be required to comply with all requirements of the Minerals Resource Management Program (MRMP) as adopted by the Board of Supervisors. (Ventura County Ordinance Code, Section 8107-9 et. seq.; and Board of Supervisors Resolution No. 222).
2. Development within a Minerals Resource Protection (MRP) Overlay Zone (see General Plan - Goals, Policies, and Programs and Zoning Ordinance) shall be prohibited if the use will significantly hamper or preclude access to or the extraction of aggregate resources.

1.2 OIL AND GAS

1.2.1 *Goals*

1. Protect liquid and gaseous mineral resources and provide for the orderly, timely, efficient, safe, and non-impactive extraction of the resource.
2. Ensure that oil and gas exploration and development projects in the surrounding area are conditioned so as to minimize adverse impacts.
3. Minimize the land use incompatibility between oil and gas drilling operations and uses which may be impacted by such activity (e.g., residential).

1.2.2 *Policies*

1. Oil operators shall adhere to the Oil and Gas Exploration and Production provisions of the County Zoning Ordinance.
2. Oil development permits shall be conditioned to minimize or avoid truck traffic impacts on the Community of Piru. Oil operators should consider alternate traffic routes or traffic mitigations such as centrifuging drilling wastes, pipelines and/or wastewater injection wells.
3. Electric production equipment shall be used where practical to alleviate pollution from internal combustion engines.

4. All production sites shall be screened from any public road, or residence located within 500 yards, by natural terrain or vegetation which will reach the height of production equipment within five years.
5. There shall be no oil refining in the Piru Area of Interest.

1.2.3 *Program*

Existing "blanket" oil permits which allow unlimited drilling will be modified on a case-by-case basis, as problems occur and as opportunities arise, so that new wells will be subject to environmental and jurisdictional review.

1.3 SCENIC RESOURCES

1.3.1 *Goals*

1. Protect the significant open views and vistas of the natural features endemic to the Piru Area of Interest.
2. Protect certain important views which lend identity to Piru, or which have been historically enjoyed by the residents.

1.3.2 *Policies*

1. Discretionary permits involving excessive and unsightly terracing, grading of hillsides and development which will obscure or alter public views of the natural ridgelines shall be prohibited.
2. Developers shall be encouraged to provide adequate open space which respects natural features and scenic qualities.
3. Discretionary development which would obscure public views of the Piru Mansion shall be discouraged.
4. State Highway 126, Main Street, Center Street, Piru Canyon Road, Guiberson Road, and Torrey Road, are hereby designated as Local Scenic Roads (see Figure 2). Discretionary permits located within view of a Local Scenic Road shall be reviewed for compliance with the following criteria:
 - (a) A sign program shall be submitted concurrently with a discretionary permit for all commercial and industrial development. Freestanding off-site advertising signs shall be prohibited. All on-site freestanding signs shall be limited to five feet in height.
 - (b) Outside storage shall be landscaped and/or screened from public view.
 - (c) Existing healthy, mature trees shall be retained, where feasible.
 - (d) Discretionary development shall be designed consistent with the *Piru Community Design Guidelines* (see Appendix).
5. The viewshed to the highest ridgeline surrounding Lake Piru shall continue to be designated as a Scenic Resource Protection Zone. Within this viewshed, the following requirements shall apply:
 - (a) Any request for significant grading shall be evaluated through the discretionary permit process.

- (b) Removal, damaging or destruction of protected trees shall be in compliance with the County's "Tree Protection Regulations".
- (c) No discretionary development shall be approved which would significantly degrade or destroy a scenic view or vista.
- (d) No freestanding off-site advertising signs shall be permitted.

1.3.3

Program

- * The County Planning Division will investigate the possibility of designating State Highway 126 as a County or State Scenic Highway due to its significance as a regional scenic corridor. This program would require a survey of State Highway 126, rezoning of adjacent properties with the Scenic Highway Protection Overlay Zone, and coordination with the State of California Department of Transportation to achieve State Scenic Highway designation.

1.4 CULTURAL RESOURCES

1.4.1

Goals

1. Preserve and to protect the cultural resources of Piru and its Area of Interest, including archaeological and historical properties, and unique, ethnic and social values.
2. Promote historic preservation programs which recognize cultural resources as central to an understanding of community history and character and necessary for the cultural persistence of contemporary peoples.

1.4.2

Policies

1. Important local landmarks such as the Piru Mansion, Piru Methodist Church, Lechler's Museum, Juan Fustero Historical Marker, Round Rock Hotel, Piru Cemetery (including the cross above the cemetery), Old Center Street Bridge, Piru Train Bridge and Camulos Ranch (including the ranch cemetery, chapel and walnut tree) shall be preserved and protected where feasible for the benefit of future generations by designation of eligible properties as County Historic Landmarks.
2. All discretionary permits involving construction or earth movement within the Piru Area of Interest shall be reviewed by the Ventura County Archaeological Society, the United Southern Chumash Council and the Ventureno Chumash of Ventura. If the development is located within an archaeologically sensitive area, a field reconnaissance study shall be conducted by a County approved archaeologist to determine the potential for surface or subsurface cultural remains. A qualified archaeological observer and Native American representative shall be present during any trenching or earth movement at such sites. If artifacts of historical or archaeological significance are uncovered, the site shall be preserved until the County Planning Division determines the proper disposition of the site based on a recommendation from a qualified archaeologist and the local Chumash Native American Community.
3. Discretionary development shall be encouraged to adopt architectural designs which reflect the historical and cultural traditions of the area.

1.5 BIOLOGICAL RESOURCES

1.5.1 Goals

1. Protect and enhance the significant biological resources in the Piru area.
2. Protect the Piru Creek wildlife migration corridor between the Los Padres National Forest on the north and the Santa Clara River and Oak Ridge Big Mountain habitat on the south.
3. Encourage and support the management policies of the U.S. Fish and Wildlife Services, California Department of Fish and Game and the Los Padres National Forest in its attempt to preserve and protect the California Condor and its habitat.

1.5.2 Policies

1. All discretionary permits in Open Space designated areas shall be consistent with the preservation and development of an environment suitable to wildlife and flora indigenous to the area.
2. All discretionary development located within 100 feet of Piru Creek or the Santa Clara River shall be sited and designed to prevent impacts which would significantly degrade riparian habitats. Discretionary projects located within or adjacent to these watercourses shall be conditioned to dedicate wildlife corridor easements if deemed necessary by the County to protect biological resources.
3. The California Department of Fish and Game, the U.S. Fish and Wildlife Service and the National Audubon Society at the Condor Research Center shall be consulted when discretionary development proposals are submitted which may affect biological resources.

1.6 ENERGY

1.6.1 Goals

1. Create a land use pattern which minimizes energy consumption.
2. Encourage the use of alternative sources of energy within new development.
3. Encourage the employment of energy conservation techniques in new development.

1.6.2 Policy

New discretionary development shall be required to submit an energy conservation plan which shall demonstrate energy savings over conventional construction (e.g., by use of solar energy or other means).

1.7 AIR QUALITY

1.7.1 Goals

1. Promote a level of air quality which protects the public health, safety, and welfare and meets or surpasses State and Federal Primary and Secondary Standards.

2. Ensure that any adverse air quality impacts resulting from commercial, industrial or residential development are mitigated to insignificant levels and that such development is consistent with the Ventura County Air Quality Management Plan.

1.7.2

Policies

1. Discretionary projects which could have significant adverse air quality impacts shall be conditioned to avoid, minimize or compensate for the air quality impact. Projects which are inconsistent with the Air Quality Management Plan (AQMP) shall be prohibited.
2. Projects subject to Air Pollution Control District (APCD) permit authority shall comply with all applicable APCD rules and permit requirements, including using the best available control technology (BACT) as determined by the APCD. Developers shall be encouraged to employ innovative technology, in order to minimize area pollution impacts.
3. Where deemed necessary by the APCD, discretionary development projects shall be required to submit a Transportation Systems Management (TSM) Plan in accordance with the requirements of the APCD.
4. Bike lanes, bicycle parking programs, solar water heating, solar space heating, and home delivery service programs and all other feasible air pollutant mitigation measures shall be encouraged in conjunction with discretionary development permits.
5. Drive-up facilities for restaurants, banks and similar businesses shall be discouraged.

1.8 AGRICULTURAL SOILS

1.8.1

Goals

1. Promote the conservation of soils classified as "Prime" or of "Statewide Importance" as a valuable natural resource.
2. Control erosion and production of sediment, and to reduce environmental damage from hillside development.

1.8.2

Policies

1. Discretionary permits located on land designated as "Prime" or "Statewide Significance" by the State's Important Farmlands Inventory shall be planned and designed to remove as little land from agricultural production as possible and minimize impacts on topsoil.
2. Agricultural and other hillside grading shall be regulated by the County's Hillside Erosion Control Ordinance and Ventura County Building Code (Appendix Chapter 33).

1.9 WATER

1.9.1

Goals

1. Protect and enhance the water resources in the Piru Area of Interest.
2. Encourage the maintenance of aquifer recharge operations at the Piru Spreading Grounds.

3. Encourage employment of water conservation techniques in new construction.

1.9.2

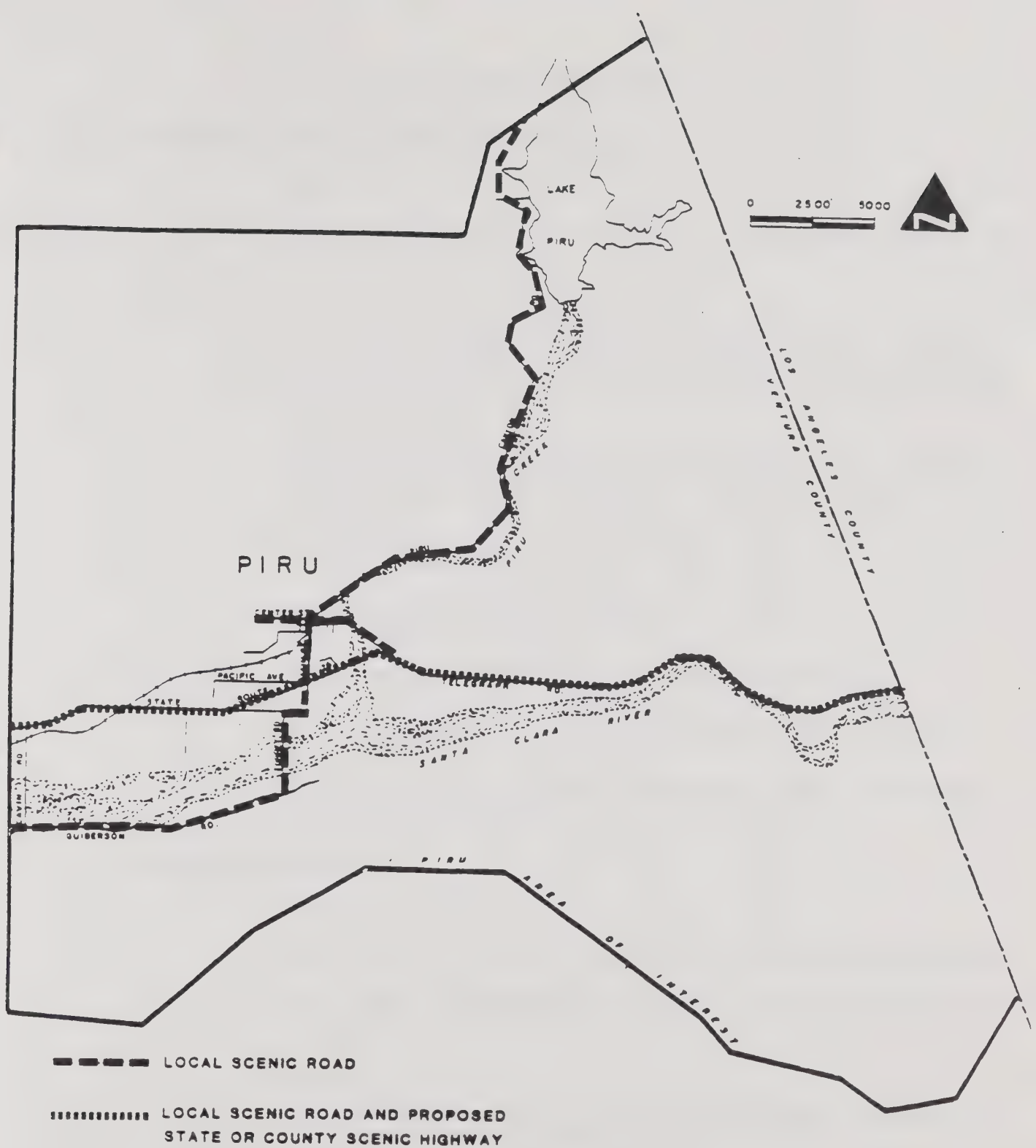
Policies

1. Developers of discretionary projects shall be required to submit a water conservation plan which should include consideration of low water usage landscape plants and irrigation systems and/or low water usage plumbing fixtures and other measures designed to reduce project water usage.
2. All discretionary permits shall be reviewed for consistency with the goals, objectives and policies of the County's Water Quality Management Plan.

1.9.3

Program

Lake Piru should be managed by United Water Conservation District for multiple purposes, where appropriate (e.g., water conservation, flood control, recreation and hydroelectric generation).



SOURCE: RESOURCE MANAGEMENT AGENCY

DATE: SEPTEMBER 1986

PIRU AREA PLAN SCENIC ROADWAYS

FIGURE 2

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2. HAZARDS

2.1 SEISMIC AND GEOLOGIC HAZARDS

2.1.1 *Goal*

Protect the public and minimize public and private losses due to seismic and geologic hazards.

2.1.2 *Policies*

1. Developers shall provide all necessary information relative to seismic and geologic hazards which may affect their development proposals. Developers shall specify how they intend to alleviate the effects of the identified hazards on their development proposal.
2. Development shall be prohibited in seismic and geologic hazard areas where hazards cannot be mitigated without significant adverse environmental effects or where public expenditures for mitigating would not be cost-effective.
3. A geologic-seismic investigation shall be performed and reports submitted for the following types of projects located within the Piru Area of Interest:
 - (a) Essential facilities (e.g., hospitals, schools, major utility facilities, trunk lines, and storage facilities, etc.)
 - (b) High occupancy buildings (e.g., theaters, churches, etc.)
 - (c) Major projects (e.g., multi-story residential buildings, large commercial and industrial buildings and facilities, etc.)
4. All development shall be subject to the geologic and seismic requirements of the County's Building Code.

2.2 FLOOD HAZARDS

2.2.1 *Goals*

1. Protect the public and minimize public and private losses due to flood hazards.
2. Encourage the construction of adequate surface drainage and flood control facilities to serve the community.

2.2.2 *Policies*

1. New development located in the 100-year flood plain shall be regulated by the County's Flood Plain Management Ordinance.
2. New development shall be protected from flood hazards and shall be designed to avoid aggravating flood hazard to downstream properties in flood prone areas.
3. Discretionary development outside the floodway but within the 100-year floodplain (Flood Fringe area) as designated on the Flood Insurance Rate Maps prepared for the United States Department of Housing and Urban Development's Federal Insurance Administration, shall be permitted only if it can be shown through engineering analysis that such areas will be protected from a 100-year flood.

2.2.3 *Programs*

1. The County Public Works Agency will continue to monitor and maintain, as necessary, the existing Piru storm drain system that is within the County road right-of-way (Transportation Department) and Ventura County Flood Control District Red Line Channels in the Piru Area of Interest. Improvements in the Piru area drainage systems will be made to consider deficiencies identified in the report on the Piru Master Drainage Plan (Koebig and Koebig, Inc., 1972). Such improvements may be constructed concurrently with new development, or as funds become available and in conformity with County-wide priorities.
2. The County Sheriff's Department Office of Emergency Services will maintain (and update as necessary) an emergency warning and evacuation plan to protect Piru area citizens in the event of the imminent failure of Santa Felicia Dam at Lake Piru and other dams upstream on tributaries to the Santa Clara River.

2.3 FIRE HAZARDS

2.3.1 *Goals*

1. Protect the public and minimize public and private losses due to fire hazards.
2. Discourage development in High Fire Hazard Areas.
3. Support the Ventura County Fire Protection District and Los Padres National Forest controlled burn program as a wildfire prevention tool, along with fuel breaks and other fire prevention measures.

2.3.2 *Policies*

1. Discretionary development permits shall be conditioned to provide adequate water and access for fire fighting purposes. Such permits shall not be approved if the County Fire Prevention District cannot provide adequate response time for fire protection.
2. All discretionary permits in High Fire Hazard Areas shall be conditioned to utilize fire retardant or fire proof building materials.
3. Discretionary development in High Fire Hazard Areas shall be required to develop landscape plans utilizing fire retardant plant materials, cleared areas or other acceptable means of reducing fire hazards.

2.4 NOISE

2.4.1 *Goals*

1. Provide for a quiet environment through proper land use planning and permit conditioning.
2. Provide for a separation, where feasible, of noise sensitive uses and noise generating uses.

2.4.2 *Policies*

1. All discretionary permits shall be reviewed for noise compatibility with surrounding uses to protect residences and other noise sensitive uses from undesirable noise levels. If the Planning Division determines that a proposal involves potentially significant noise exposure to noise sensitive uses, a noise

report shall be prepared by a qualified acoustical engineer as part of the project's environmental evaluation. The report shall include recommendations designed to eliminate or reduce the projected impacts.

2. Development proposals shall be subject to the policies and standards of the Noise Section of the Goals, Policies, Programs of the Ventura County General Plan.
3. Noise sensitive uses, as defined in the Glossary of the Ventura County General Plan, shall be buffered from noise generating facilities (such as highways, railways, and commercial, industrial and parking areas) by the placement of walls, berms, the establishment of setbacks, greenbelts or other appropriate means.

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3. LAND USE

3.1 GENERAL LAND USE

3.1.1 *Goals*

1. Maintain the existing early 1900's small town character of Piru.
2. Provide for a slow, even growth rate in a manner consistent with the ability of service agencies to provide quality services.
3. Ensure that existing and future land use patterns result in a cohesive and consolidated community.
4. Locate new development within a compact urban community and avoid encroaching on established agricultural operations.
5. Provide a balance of industry, commerce, recreation and housing in order to encourage a sound economic base and afford opportunities to live, work, shop and play within the community.
6. Encourage the revitalization and rehabilitation of substandard or deteriorated areas in the Piru Community.
7. Allow reduction of development, parking, landscaping, and sign standards in the Commercial Town Center, Railroad Property and "Hotel" areas (see Figure 5) to complement the Piru Community Design Guidelines (see Appendix).

3.1.2 *Policies*

1. All zoning and development shall be in conformance with the Land Use Maps which have been designed to reflect the above goals (see Figures 3 and 4). The Zoning Compatibility Matrix (Figure 5) indicates the zones which are consistent with the various Area Plan land use categories.
2. In case of reasonable doubt as to the precise alignment of land use boundaries on the Land Use Plan Maps (Figures 3 and 4), the Planning Director is authorized to determine the precise boundary locations. Such determinations must comply with the goals and policies which are set forth in the written text of the Piru Area Plan. Determinations shall be graphically portrayed on the adopted Land Use Plan Maps. In granting the Planning Director such powers, it is understood that any interested party may appeal the Planning Director's decision to the Planning Commission and subsequently to the Board of Supervisors (Ventura County Ordinance Code, Division 8, Chapter 1, Article 11) and may also file for a General Plan amendment. It is further understood that the Planning Commission and the Board of Supervisors shall be informed of any specific boundary determination made by the Planning Director.
3. Applicants for large development projects shall submit phasing plans designed to spread development impacts over time.
4. Outward expansion of the Urban boundary, as delineated on the Land Use Map (Figure 4), shall be discouraged if suitable developable areas exist within the Piru Community.
5. Social, physical and economic impacts shall be considered prior to the determination of the suitability and appropriateness of new development within the Piru Community.

6. Discretionary development or redevelopment shall employ the Piru Community Design Guidelines (see Appendix) which are intended to complement and maintain the community's unique early 1900's small town identity.
7. All discretionary development projects shall be reviewed and conditioned to ensure that they are in conformance with the Building Intensity/Population Density Summary Table (Figure 6).
8. The Commercial Town Center, Railroad Property and Hotel areas (see Figure 7) shall be zoned with the Community Business District Overlay Zone.

3.1.3 *Programs*

1. The Piru Neighborhood Council will continue to be the Board of Supervisors' designated public review group, authorized to review all discretionary land use entitlements proposed within the Community of Piru to ensure that community design standards are adhered to, and that neighborhood compatibility issues are addressed.
2. The Piru Area Plan will be reviewed by the County Planning Division and the Piru Neighborhood Council concurrently with any major General Plan amendments in the Piru area. The purpose of such review is to bring the Plan up-to-date, to reflect any changes in County-wide policies and to ensure that the goals, policies and programs of the Piru Area Plan continue to reflect community standards.

3.2 COMMERCIAL

3.2.1 *Goals*

1. Provide commercial uses which meet the shopping, service, and entertainment needs of the residents of Piru and visitors to the community of Piru and Lake Piru.
2. Locate and design commercial land uses so as to minimize land use incompatibility with surrounding land uses, as much as is practical.
3. Ensure that the uses in the commercial area along Highway 126 complement the Commercial Town Center.

3.2.2 *Policies*

1. Commercial development shall be located in conformance with the Land Use Map which has been developed in accordance with the above goals and objectives (see Figure 4).
2. New commercial development shall be subject to either a Planned Development or Conditional Use Permit to assure compatibility with adjacent land uses. Such review shall give careful attention to landscaping, signage, access, site and building design and size, drainage, on-site parking and circulation, operating hours, fencing and mitigation of nuisance factors.
3. New highway oriented development shall be confined to the existing commercial area at Main Street and Highway 126.
4. Discretionary development in the Commercial designated area along Highway 126 shall complement the Commercial Town Center.
5. Commercial uses which serve Lake Piru visitors shall be required to locate within existing commercial areas.

6. Development in the Commercial Town Center and Railroad Properties shall promote ease of pedestrian access in order to encourage walk-in business.
7. All exterior lighting shall be unobtrusive and constructed or located so that only the intended area is illuminated, long range visibility is reduced, and off-site glare is fully controlled.
8. Commercial development shall consolidate driveways, parking lots, and landscaped areas, whenever possible.

3.2.3 *Program*

The television and motion picture industry will be encouraged to continue using Piru as a setting for movies and television shows.

3.3 HOTEL

3.3.1 *Goals*

1. Provide economically viable land use options for the Round Rock Hotel (County Historical Landmark No. 124) so that it can be preserved.
2. Provide an area for visitor-serving lodging within or adjacent to the Commercial Town Center.

3.3.2 *Policy*

The Zoning Compatibility Matrix (Figure 7) indicates the zone which is consistent with the Hotel land use designation. However, the only allowable uses in the Hotel designation are "hotels, motels and boarding houses," and "care facilities."

3.3.3 *Program*

The Piru Community Redevelopment Agency will pursue grants and other appropriate forms of funding to help ensure that the Round Rock Hotel can be preserved.

3.4 INDUSTRIAL

3.4.1 *Goals*

1. Provide industrial uses to meet the service and employment needs of the Piru Community.
2. Locate and design industrial land uses so as to minimize land use incompatibility with residential land uses.

3.4.2 *Policies*

1. Industrial development shall be located in conformance with the Land Use Map which has been developed in accordance with the above goals (see Figure 4).
2. Industrial uses shall be confined to locations adjacent to State Highway 126 and/or rail lines.
3. Industrial zoned acreage shall be provided at an approximate ratio of 19 acres of industrial land per 1,000 population.

4. All exterior lighting shall be unobtrusive and constructed or located so that only the intended area is illuminated, long range visibility is reduced, and off-site glare is fully controlled.
5. New industrial development shall be subject to either a Planned Development or Conditional Use Permit to assure compatibility with neighboring uses. Such review shall give careful attention to aesthetics, landscaping, signage, access, site and building design and size, drainage, on-site parking and circulation, fencing, operating hours, and mitigation of nuisance factors.
6. Hazardous materials and wastes shall be stored, handled and disposed in a manner approved by the Environmental Health Division.

3.5 RESIDENTIAL

3.5.1 Goals

1. To promote a diversity of housing types, tenure, and price in order to provide a variety of housing options and increase housing opportunities for persons of all income levels.
2. To strive for a reasonable (three percent) vacancy rate in both rental and ownership housing in Piru.
3. To improve the condition of existing substandard housing and housing otherwise in need of rehabilitation.

3.5.2 Policies

1. Residential development shall be located in conformance with the Land Use Maps (see Figures 3 and 4) which has been developed in accordance with the above goals.
2. Residential designations in the Piru Community shall be directed toward an approximate overall 85% single-family/15% multi-family mix based on total potential housing units.
3. Discretionary residential development shall be conditioned to incorporate good design standards and maintain the character of the Piru community consistent with the Piru Community Design Guidelines.
4. Well-designed low-income housing shall be encouraged in accordance with demand.

3.5.3 Programs

1. The Area Housing Authority will continue to administer the Section 8 Colina Vista residential project, comprised of 35 single-family rental units, located east of Main Street and north of Citrus View Drive.
2. The County of Ventura will continue to administer a Federal HOME project to support development of 22 single-family units to be built by Habitat for Humanity on the former Duneden Tract.

3.6 COMMUNITY FACILITY

3.6.1 *Goal*

Recognize existing and future publicly-owned properties which are, or will be, developed for schools, parks, cemeteries, town greens, community centers, fire stations, railroad depot and a 100-foot railroad right-of-way for placement of tracks to accommodate excursion or commuter trains, and appurtenant commercial activities consistent with the *Piru Community Enhancement Plan (1996)*.

3.6.2 *Policy*

All discretionary development within the "Community Facility" designation shall be consistent with the goals of this land use designation and the *Piru Community Enhancement Plan (1996)*.

3.6.3 *Program*

The Piru Community Redevelopment Agency will cooperate with the Ventura County Transportation Commission (VCTC) to develop and utilize the 100-foot railroad right-of-way to support the goal of the Community Facility land use designation.

3.7 AGRICULTURE AND OPEN SPACE

3.7.1 *Goals*

1. Maintain the bulk of the Piru Area of Interest in Agriculture or Open Space as a means of retaining the existing rural scenic character and limiting urbanization in areas which are unsuited to more intensive development due to the presence of physical hazards and development constraints, the necessity to protect resources, and the lack of public services and facilities required to support urban development.
2. Encourage and maintain agricultural operations in order to promote the farm based economy within the Piru Area of Interest.
3. Guide growth into developed areas and discourage the conversion of agricultural land to urban uses.
4. Encourage owners of qualified agricultural property to file for Land Conservation Act (LCA) contracts and to discourage their cancellation or non-renewal.

3.7.2 *Policies*

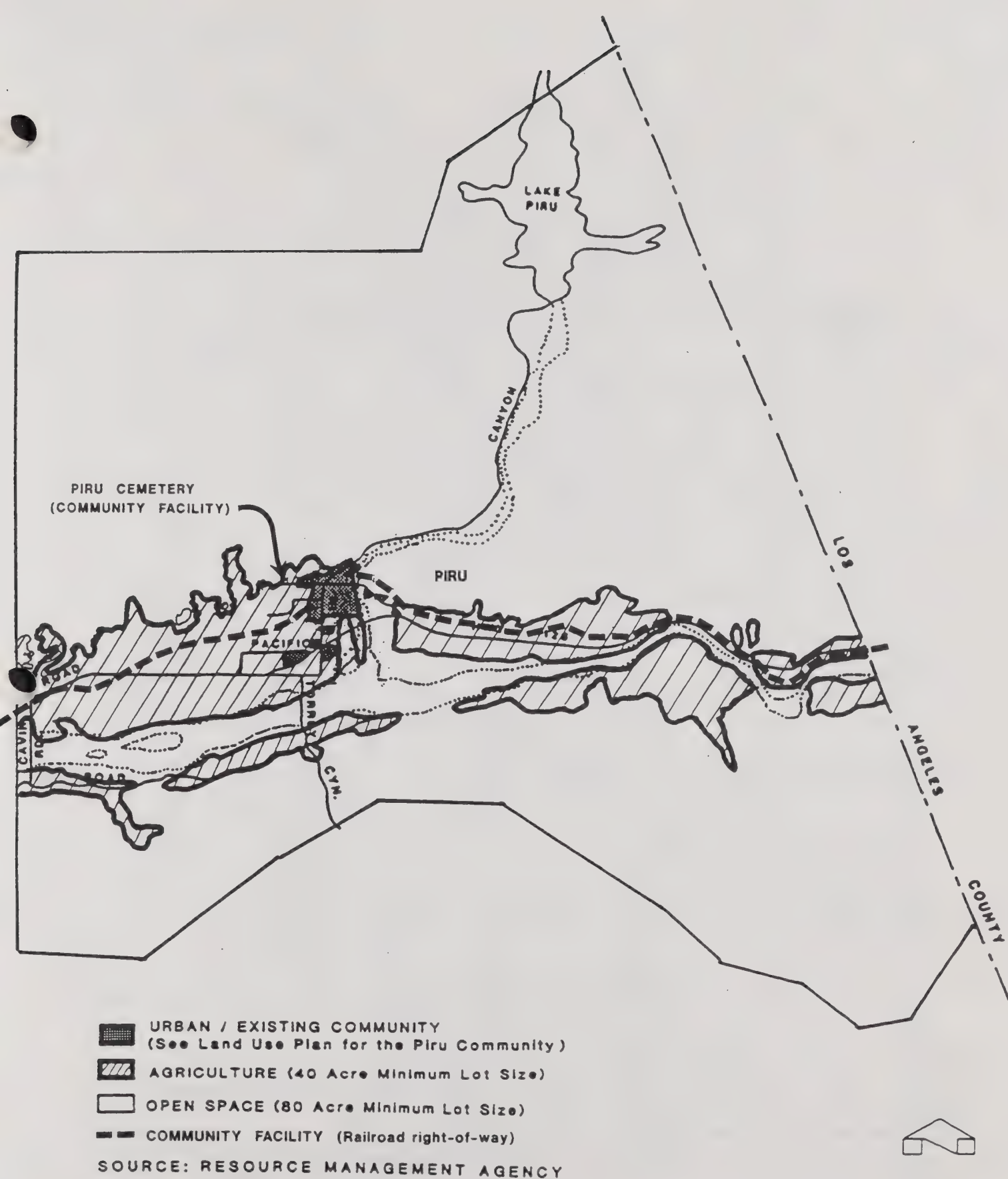
1. Agricultural and Open Space shall be located in conformance with the Land Use Map which has been developed in accordance with the above goals (see Figure 3).
2. Land outside the Piru Urban and Existing Community areas shall be designated as Open Space or Agricultural.
3. All discretionary development shall be reviewed to ensure that impacts on agriculture are minimized.
4. Applicants for discretionary farmworker housing projects shall be required to demonstrate a bonafide agricultural need for the proposed

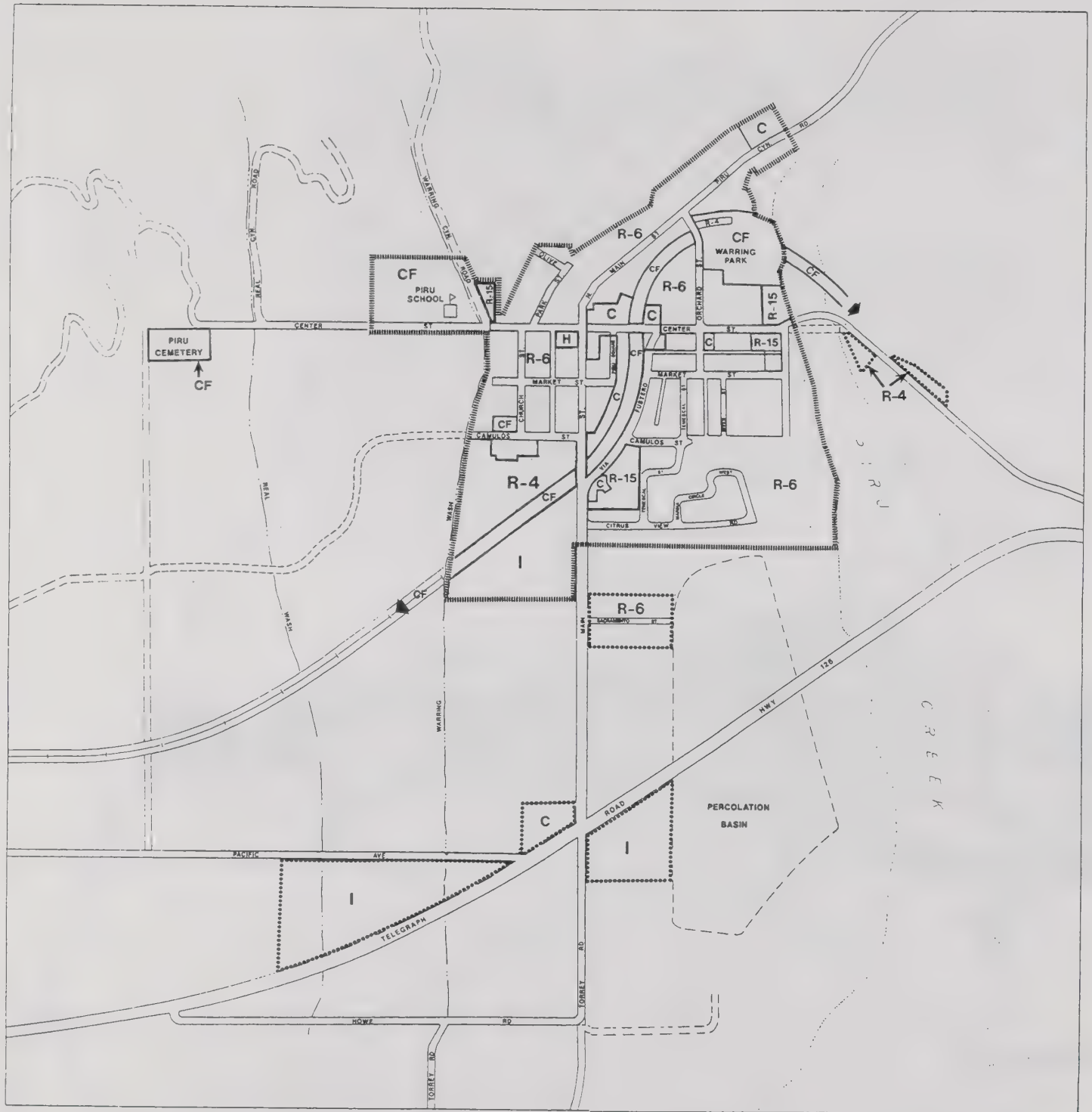
farmworker/resident(s). Such projects shall be limited to no more than two farmworker dwellings per 40 acres of land used for farming, and no more than 10 farmworker dwelling units per site. This policy shall not apply if the Board of Supervisors adopts a comprehensive County-wide farmworker housing policy.

3.7.3

Programs

1. The County Agricultural Department, Farm and Home Advisor and the Resource Conservation District will continue education programs for farmers and ranchers and will encourage the development and implementation of best management systems, stressing application of biological and cultural pest control techniques with selective pesticides when necessary to achieve acceptable levels of control with the least possible harm to non-target organisms and the environment.
- 2.* At the request of the City of Fillmore, the Planning Division will work with the City of Fillmore to establish a greenbelt between the City of Fillmore and the Los Angeles County Line.





- R-4 RESIDENTIAL 2-4 DWELLING UNITS PER ACRE
- R-6 RESIDENTIAL 4-6 DWELLING UNITS PER ACRE
- R-15 RESIDENTIAL 10-15 DWELLING UNITS PER ACRE
- C COMMERCIAL
- I INDUSTRIAL
- CF COMMUNITY FACILITY
- H HOTEL

- PIRU URBAN BOUNDARY
- EXISTING COMMUNITY BOUNDARY

THIS IS AN OFFICIAL MAP OF THE LAND USE ELEMENT OF THE GENERAL PLAN ADOPTED PURSUANT TO THE PLANNING LAWS OF THE STATE OF CALIFORNIA, PASSED BY RESOLUTION OF THE BOARD OF SUPERVISORS ON 7/22/97 AS PART OF THE GENERAL PLAN AMENDMENT (GPA 97-2)


FIGURE 4





LAND USE PLAN FOR THE PIRU COMMUNITY


7/22/97


23


 Not compatible with Plan

 Compatible with Plan

 Compatible only with zone suffix equal to or more restrictive than that shown in circle.

 = x acre minimum lot size

 = x thousand square feet minimum lot size

 = x units per acre maximum

PLN3086-5/20/7 (2)

7/22/97

FIGURE 6

**SUMMARY TABLE
BUILDING INTENSITY/POPULATION DENSITY STANDARDS**

**PIRU AREA PLAN
OPEN SPACE/AGRICULTURAL**

DESIGNATION	ACRES	MAX. BLDG. COVERAGE (% OF LOT AREA) ¹	MAXIMUM INTENSITY (DU/AC) ²	DWELLING UNITS	AVERAGE POP/DU ³	POPULATION	AVERAGE POPULATION DENSITY (PERSONS/ACRE)
OPEN SPACE (80 Ac. Min.)	37,483	5%	0.10	468	3.18	1,488	0.04
AGRICULTURAL (40 Ac. Min.)	5,214	5%	0.03	130	3.18	413	0.08
TOTALS	42,697			598		1,901	

RESIDENTIAL

DESIGNATION	ACRES	MAX. BLDG. COVERAGE (% OF LOT AREA)	MAXIMUM INTENSITY (DU/AC) ²	DWELLING UNITS	AVERAGE POP/DU ³	POPULATION	AVERAGE POPULATION DENSITY (PERSONS/ACRE)
R-4 (2 - 4 DU/Ac.)	13	36%	4.00	52	3.18	165	12.72
R-6 (4 - 6 DU/Ac.)	69	45%	6.00	414	3.18	1,316	19.08
R-15 (10 - 15 DU/Ac.)	5	55%	15.00	75	3.18	238	47.70
TOTALS	87			541		1,719	

COMMERCIAL/INDUSTRIAL/COMMUNITY FACILITY

DESIGNATION	ACRES	MAX. BLDG. COVERAGE (% OF LOT AREA)	PROJECTED FLOOR AREA (X 1,000 SF)	AVERAGE NUMBER OF EMPLOYEES PER 1,000 SF	EMPLOYEES	AVERAGE NUMBER OF EMPLOYEES/ACRE
C (COMMERCIAL)	10	60% ⁴	65	2.0	130	13.07
H (HOTEL)	1	60% ⁴	10	0.5	5	5.45
I (INDUSTRIAL)	36	50%	313	2.0	627	17.42
CF (COMMUNITY FACILITY)	114	60% ⁴	496	1.0	496	4.36
TOTALS	161		884		1,258	

Footnotes:

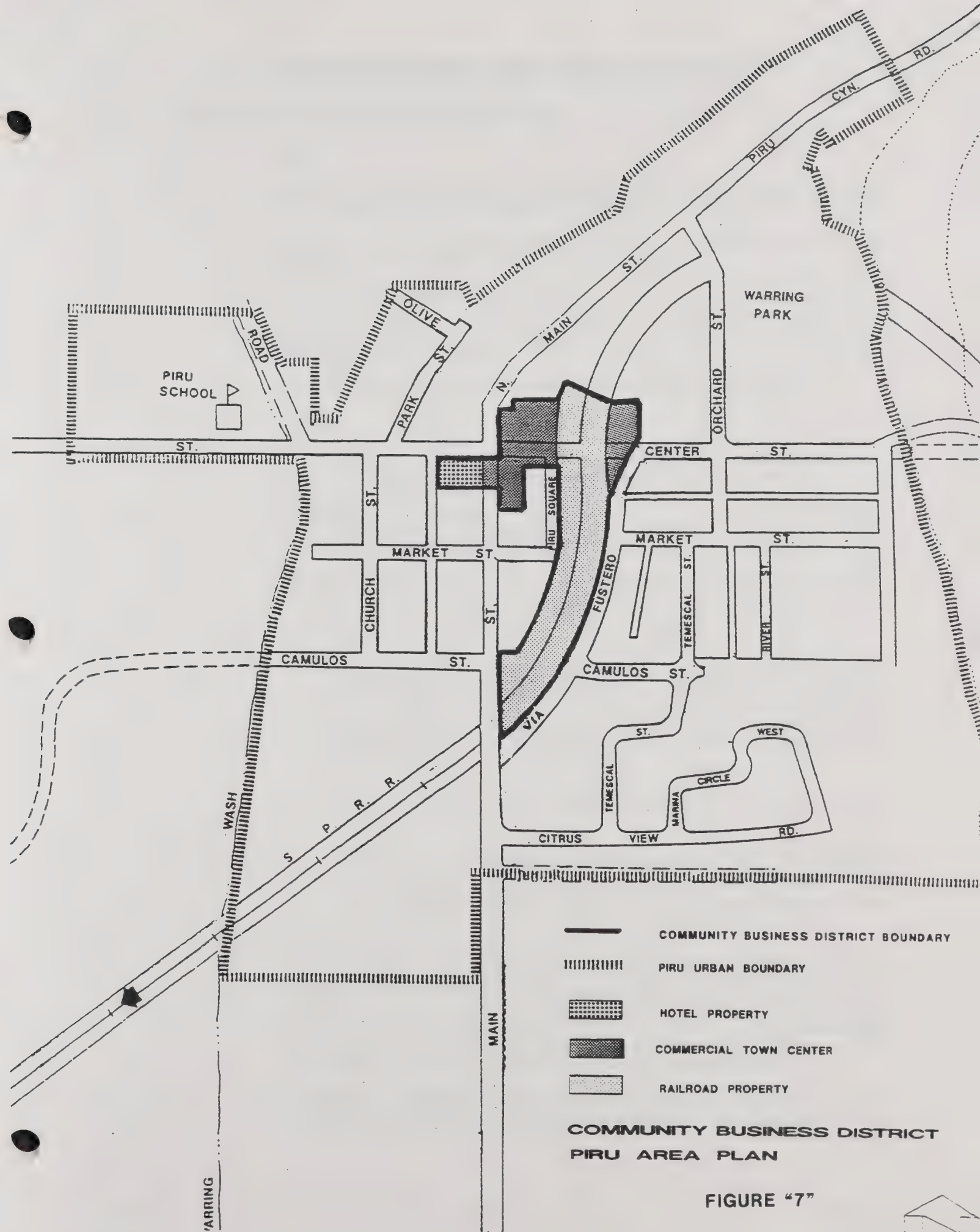
¹Excludes greenhouses, hothouses, and the like. For nonconforming lots, maximum building coverage shall be 2,500 square feet, plus one square foot for each 22.3 square feet of lot area over 5,000 square feet.

²Excludes second dwelling units per Section 65852.2 of the State Government Code.

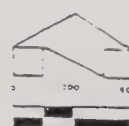
³Year 2000 Forecast for Piru Growth Area.

⁴Deviations may be allowed under the provisions of the Community Business District Overlay Zone.

7-22-97



- COMMUNITY BUSINESS DISTRICT BOUNDARY
- - - - - PIRU URBAN BOUNDARY
- ▤ HOTEL PROPERTY
- ▨ COMMERCIAL TOWN CENTER
- ▧ RAILROAD PROPERTY



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4. PUBLIC FACILITIES AND SERVICES

4.1 TRANSPORTATION AND CIRCULATION

4.1.1 *Goals*

1. Ensure an adequate circulation and transportation system to serve the needs of the existing and future residents of, and visitors to, Piru.
2. Ensure that new development ties into the existing circulation system by an adequate street network.
3. Provide safe pedestrian and bicycle pathways throughout the Community.
4. Distribute the cost of circulation improvements equitably among benefitting property owners and users.
5. Encourage expanded commercial bus and rail service to and from Piru.

4.1.2 *Policies*

1. All road improvements shall be in conformance with the Circulation Map which has been designed to reflect the above goals (see Figures 8 and 9).
2. Discretionary permits shall be conditioned to dedicate land and/or construct road improvements as needed to meet County standards for street development and planned future roads consistent with this Area Plan.
3. For street improvements within Urban and Existing Community designated areas (see Figure 4), the following apply:

a. Residential and Community Facility Designations

Public street improvements adjacent to Residential and Community Facility designations, with the exception of Center Street which is to be consistent with Section 4.1.2-3b, below, shall be constructed in accordance with County of Ventura Public Works Agency Plate B-4 A (Residential Roads, Urban with Parkways) as it existed in the County Road Standards on January 28, 1986.

b. Commercial and Hotel Designations Within or Adjacent to the Commercial Town Center

Public streets adjacent to Commercial or Hotel designations within or adjacent to the Commercial Town Center (see Figure 7) shall be constructed in accordance with County of Ventura Public Works Agency Plate B-3 D, (Secondary Free Access and Commercial and Industrial Roads) which requires a 10-foot monolithic sidewalk.

4. All discretionary development shall be conditioned to provide street and sidewalk improvements as indicated in policy 4.1.2-3, and in accordance with the Ventura County Design Criteria and Specifications for Landscape Plans and Recommended Street Tree List established by the Public Works Agency. With regard to those improvements indicated under policy 4.1.2-3a, a landscape maintenance entity, subject to the approval of the Public Works Agency, shall be established prior to Final Map Recordation or Zoning Clearance.
5. Discretionary development shall be planned to facilitate pedestrian, bicycle, transit, as well as automobile access, both within and outside the development.

6. Discretionary development adjacent to State Highway 126 shall be designed to consolidate driveways and access points, wherever possible, in order to minimize traffic disruption on this major arterial.

4.1.3 *Programs*

1. When property owners representing 60% of all property within the Piru Community, or 60% of the linear frontage on each block proposed to be included in this program, sign a petition requesting that the County construct, maintain or repair the sidewalks installed within the developed area of the Piru Community, the County Public Works, in consultation with the Piru Neighborhood Council, will develop a program responding to the property owners' request. This program will include funding mechanisms such as assessment and/or maintenance districts. Where feasible, the Public Works Agency will make the cost of this program affordable to the Piru residents through local volunteer labor and/or extending the payback period.
2. Applicants for discretionary development projects will be encouraged to provide secure bicycle parking facilities.
3. Applicants for discretionary development projects will be encouraged to provide incentives to transit use (e.g., provide bus passes for their employees, residents or clients; establish a subscription bus service, or participate in car pool/van pool programs).
4. The Public Works Agency will study the feasibility of abandoning Piru Square Drive.

4.2 EDUCATION

4.2.1 *Goals*

1. Ensure a quality education for the children of Piru.
2. Minimize overcrowding in the schools serving Piru.
3. Ensure that adequate facilities and materials exist to provide high quality education in Piru.

4.2.2 *Policies*

1. All residential development projects shall comply with the School District's impact mitigation fee programs consistent with limitations imposed by State law.
2. Applicants for privately-initiated General Plan Amendments and/or zone changes for new development which would increase the number of school-aged children shall be required to enter into a binding agreement with the Fillmore Unified School District to mitigate the projects' impact on school facilities.
3. The Fillmore Unified School District shall be provided the opportunity to review discretionary residential development and public park and recreational facility proposals.

4.2.3 *Programs*

1. The County Planning Division will continue to coordinate an exchange of information with the Fillmore Unified School District regarding school needs and new residential development.

2. The Fillmore Unified School District will be encouraged to utilize school facilities during off-school hours as appropriate for community meeting space, recreation and other compatible functions.

4.3 LAW ENFORCEMENT

4.3.1 *Goal*

Ensure that an adequate level of effective law enforcement is provided within the Piru Area of Interest.

4.3.2 *Policies*

1. Discretionary development projects shall be conditioned to provide adequate site security during the construction phase (e.g., licensed security guard and/or fencing around the construction site, and all construction equipment, tools, and appliances to be properly secured and serial numbers recorded for identification purposes).
2. Discretionary development projects shall be conditioned to provide adequate security lighting (e.g., parking lots to be well lighted with a minimum one foot candle of light at ground level, lighting devices to be protected from the elements and constructed of vandal resistant materials and located high enough to discourage anyone on the ground from tampering with them).
3. Discretionary development permits shall be conditioned to avoid landscaping which interferes with police surveillance (e.g., landscaping must not cover any exterior door or window, landscaping at entrances and exits or at any parking lot intersection must not block or screen the view of a seated driver from another moving vehicle or pedestrian, trees must not be placed underneath any overhead light fixture which would cause a loss of light at ground level).

4.3.3 *Programs*

1. The Sheriff's Department will continue to review discretionary permits to ensure that an adequate level of law enforcement can be provided.
2. Crime prevention programs such as the Neighborhood Watch Program will continue to be encouraged by the County Sheriff's Office within the Community of Piru.
3. The County Sheriff's Department will continue to support and promote efforts to organize neighborhood, rural, and industrial crime prevention techniques and conducts residential security surveys and public awareness programs.

4.4 FIRE PROTECTION

4.4.1 *Goals*

1. Ensure that an adequate level of fire protection is provided within the Piru Area of Interest.
2. Encourage the upgrading of the Warring Water Service system to meet minimum fire flow standards in all areas of the system.

4.4.2 *Policy*

Discretionary development shall be permitted only if adequate water supply, access and response time for fire protection can be made available.

4.4.3 *Program*

The County Fire Protection District Bureau of Fire Prevention will continue to review all new development to ensure that an adequate level of fire protection can be provided.

4.5 DOMESTIC WATER SUPPLY

4.5.1 *Goal*

Ensure that adequate quantity and quality of water will be available to all residents, commercial and industrial users, and agricultural operations, in Piru.

4.5.2 *Policy*

All new development within the Piru Community shall be required to obtain a water availability letter from a County or State of California Department of Public Health approved water purveyor prior to project application.

4.6 SANITATION SERVICES

4.6.1 *Goals*

1. Ensure that wastewater treatment capacity is reserved at the Piru treatment plant for existing and potential development consistent with this Plan.
2. Encourage recycling of solid waste materials.

4.6.2 *Policies*

1. All discretionary development within the Urban and Existing Community areas shall be connected to the sewer system. A sewer availability letter shall be obtained from Waterworks District #16 prior to project application.
2. Any modification of the Piru sewage treatment plant shall be consistent with the County's Water Quality Management Plan and shall consider the feasibility of wastewater reclamation.
3. Any waste disposal capacity in the Piru Treatment Plant, in excess of that required to service the existing and planned development in the Urban and Existing Community areas, shall be reserved to allow for the orderly expansion of the Piru Community, consistent with the Land Use Plan for the Piru Community (Figure 4) as it may be amended in the future.

4.7 RECREATION

4.7.1 *Goals*

1. Provide a range of recreational opportunities and programs which are easily accessible to the residents of Piru.

2. Encourage cooperation of the School District in providing facilities for recreational purposes.
3. Encourage new residential developments to provide recreational facilities for the population expected to be generated.

4.7.2 ***Policies***

1. Limited expansion of recreational facilities at Lake Piru is encouraged, provided it is consistent with the open space character of the area.
2. Planned Residential Development projects shall be conditioned to provide private recreation area within the development.
3. Subdivisions shall be conditioned to provide land and improvements for park and recreation facilities or shall pay in lieu, fees to help finance needed park and recreation facilities (e.g., the expansion and development of Warring Park).

4.7.3 ***Programs***

1. The General Services Agency will take necessary steps to assure the expansion and development of Warring Park to meet the needs of residents of the Community of Piru.
2. The General Services Agency will encourage service clubs, civic groups and individuals to help in the development of recreational facilities.
3. Fillmore Unified School District is encouraged to jointly develop and use school property for recreational purposes.

4.8 **GOVERNMENTAL ORGANIZATION**

4.8.1 ***Goal***

Provide opportunities for the citizens of Piru to take an active role in determining community affairs.

4.8.2 ***Policies***

1. The Piru Neighborhood Council shall continue to be the Board of Supervisors' recognized public review group for the Piru Area of Interest. All applications for discretionary permits and all environmental documents for projects located within the Piru Area of Interest shall be distributed to the Piru Neighborhood Council.
2. If a community services district (CSD) is ultimately formed with an elected Board of Directors, the CSD board shall take the place of the Piru Neighborhood Council as the recognized public review group for review of discretionary permits.
3. All County departments shall make an effort to notify the Piru Neighborhood Council concerning issues and programs of importance to the Piru area prior to decisions being made regarding these matters.

4.8.3 *Programs*

1. The County Planning Division will continue to coordinate an information exchange with Los Angeles County to ensure that the Piru Neighborhood Council is informed of projects planned in Los Angeles County which could adversely affect the Piru Area of Interest.
2. Upon receipt of a valid application, the Local Agency Formation Commission (LAFCO) will evaluate the feasibility of forming a Community Services District (CSD) in Piru. Consideration will be given to consolidating one or more of the following functions into the CSD: sanitation (Water Works District No. 16), domestic water supply, street lighting (County Service Area No. 14), sidewalks (proposed Special Assessment District), parks (currently administered by the County General Services Agency), and other functions as may be deemed appropriate.

4.9 SOCIAL WELFARE

4.9.1 *Goals*

1. Encourage the provision of essential services to the homeless, jobless, and others in urgent need of public assistance within the Piru Area of Interest.
2. Provide needed facilities for the elderly and handicapped.

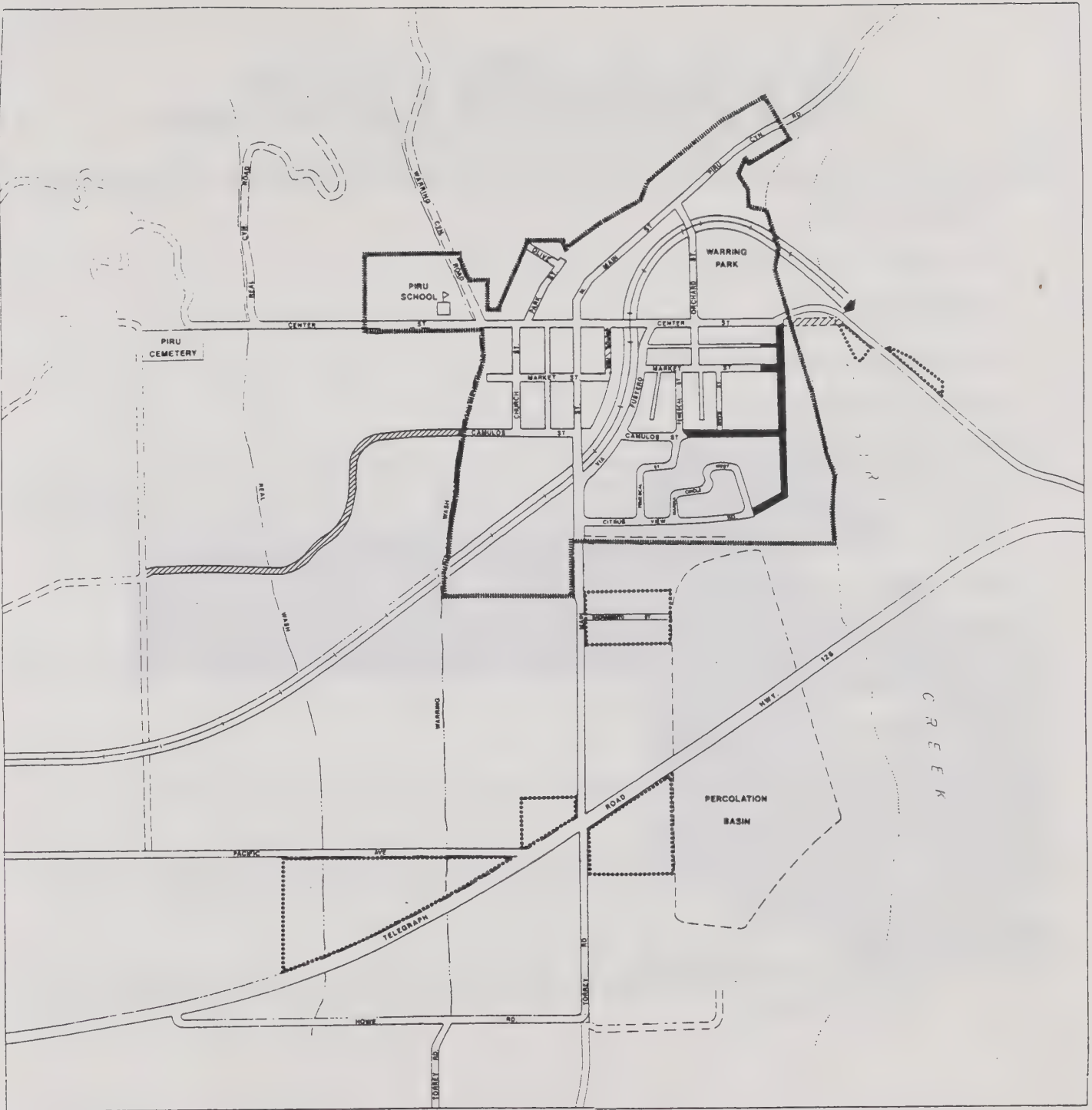
4.9.2 *Policies*

1. Small residential care facilities for the elderly and handicapped are encouraged in the residential zones.
2. Small day care facilities are encouraged in the residential zones to provide necessary care for children of working parents.

4.9.3 *Programs*

1. The Public Social Services Agency will continue to provide financial assistance, counseling and other critical services to persons and families in need.
2. The Office of the Chief Administrative Officer will continue to actively pursue Federal and State grant programs with potential benefit to persons and families in need within the Piru Area of Interest.
3. Programs involving young adults in recreation or community service activities will be encouraged.

KS:ka



- ||||||| PIRU URBAN BOUNDARY
- EXISTING COMMUNITY BOUNDARY
- ===== EXISTING ROAD
- PROPOSED NEW ROAD
- ////// EXISTING ROAD TO BE VACATED
- == PRIVATE ROAD
- +—— RAILROAD RIGHT-OF-WAY

THIS IS AN OFFICIAL MAP OF THE LAND USE ELEMENT OF THE GENERAL PLAN ADOPTED PURSUANT TO THE PLANNING LAWS OF THE STATE OF CALIFORNIA. PASSED BY RESOLUTION OF THE BOARD OF SUPERVISORS ON 7/22/97 AS PART OF THE GENERAL PLAN AMENDMENT (GPA 97-2)

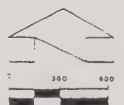


FIGURE 8

FIGURE 9

DESCRIPTION OF PROPOSED CIRCULATION IMPROVEMENTS

CAMULOS STREET:

Road segment west of Warring Wash to be vacated.

CENTER STREET:

Old Center Street Bridge to be vacated.

NEW COLLECTOR STREETS:

To be extended south from Center Street from the vicinity of the Center Street Bridge and connecting with a second new collector street extending east from Main Street in the vicinity of the Packing Plant to provide an adequate collector system for development planned in this area. (Funding: Conditioning of adjacent discretionary development.)

SIDEWALKS:

Sidewalks, landscape, parkways, and/or curbs and gutters to be installed throughout the Community as needed, or on streets as determined by the Piru Community Redevelopment Agency (Funding: Tax Increment Financing).

GENERAL NOTES:

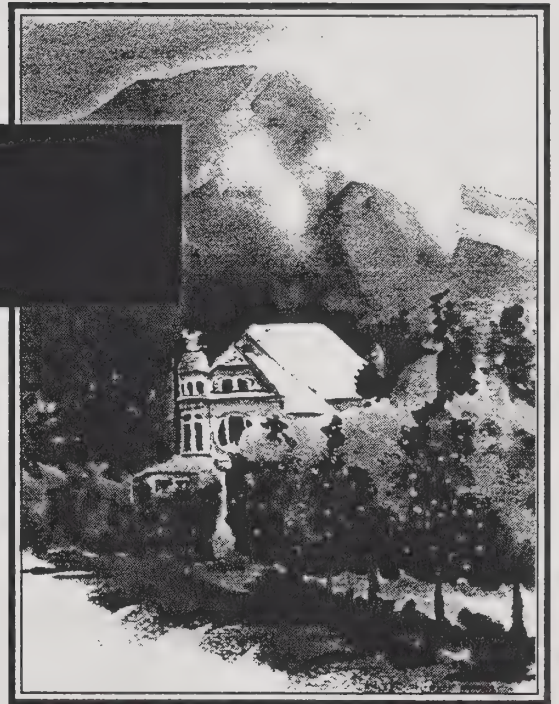
- a. New road alignments are conceptual. Final design shall be subject to Public Works approval.
- b. Funding for road improvements will be augmented by other sources such as State and Federal grants, and the County Road Fund when funds are available and in accordance with County-wide priorities.

In addition, any discretionary development, whether located within the specific Area of Contribution or not, shall be conditioned to contribute toward road improvements from which they derive benefits.

PIRU COMMUNITY

DESIGN GUIDELINES

APPENDIX



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PIRU COMMUNITY

DESIGN GUIDELINES

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PIRU COMMUNITY DESIGN GUIDELINES

In May 1996, the Ventura County Board of Supervisors adopted in concept the Piru Community Enhancement Plan, prepared by Mainstreet Architects and Planners, Inc. and Stephanie Diaz, Planning Consultant. Included in the Plan were Architectural Design Guidelines, which were intended to encourage design compatible with the existing historic character of the Piru community. This Appendix has been created to facilitate the application of these guidelines, specifically to commercial development within the Commercial Town Center, Highway 126, and Railroad Property. The County of Ventura wishes to thank Nicholas Deitch, Mainstreet Architects and Planners, Inc., for his cooperation and assistance in the reformatting of the Piru Community Design Guidelines.

PIRU COMMUNITY

DESIGN GUIDELINES



Figure 1

Architecture of the Commercial Town Center - displays an elegant simplicity unique in the Santa Clara River Valley.

These guidelines are intended to apply primarily to commercial development within the community and along the highway. Although these guidelines do not address residential projects in detail, all construction is encouraged to reflect the rural aesthetic of the community. *Any* building with historic significance should be handled with great care to preserve the historic character and fabric of the structure and its setting. Larger residential projects, including tracts or multifamily projects, should be treated with special care to assure that they enhance and maintain the existing community character, especially as viewed from public streets and access ways.

1. INTENT

Piru is a small, compact community with relatively few opportunities for new construction to occur. However, because it is so small, even a minor project can have a significant impact on the perceived character of the community. The primary intent of these design guidelines is to encourage good design that is com-

patible with the existing historic character of Piru - its "sense of place." This character is unique among the towns of the Santa Clara River Valley in that the community has remained compact, with clearly identifiable edges, a predominantly rural village character and a distinctively simple Commercial Town Center - small but very urban in form.

Another key intent of these guidelines is to maintain a clear dif-

ference between the character of the Commercial Town Center (*see Figure 1*), which is urban in nature, and the rest of the community, which is residential and rural in nature. This concern applies especially to commercial development at the highway and to development on the Railroad Property. Such development should be designed to reflect the rural character of the community, and should in no way attempt to mimic the urban forms of the Commercial Town Center. Instead, structures at these locations should reflect an agrarian or rural highway aesthetic, as described herein.

All proposed structural or facade changes as well as new public or private construction in the Plan Area that require the issuance of a discretionary permit, should be designed consistent with the Design Guidelines. It is also recommended that a Design Professional prepare the plans for such changes and new construction within the Plan Area. The process for design review is to be in compliance with the requirements in the County's Zoning Ordinance.

PIRU COMMUNITY

DESIGN GUIDELINES

Figure 2



Northeast corner of Main and Center Street.

2. BUILDING DESIGN CRITERIA FOR THE COMMERCIAL TOWN CENTER

The buildings of the Commercial Town Center are simple, small scale boxlike structures (see Figure 2) which front the sidewalks and provide a distinct contrast to the surrounding community. These humble buildings make no attempt at “illusions of grandeur” (such as through the use of oversized parapets or enlarged cornices) typical of the small town main street of the time. Yet, in their simplicity they provide a very charming and memorable setting. Although there are some subtle variations among them, the basic features which make up this simplicity include:

- Simple rectangular building fronts which abut the sidewalk.
- Brick facing, generally earthen colors, with very simple patterning and detail.
- Door and window openings which are “punched” into the building face.

On the south side of Center Street (see Figure 3), buildings incorporate some common elements:

- A concrete base or “bulkhead,” across the building front, extending two to three feet above the sidewalk.
- A simple concrete or brick “soldier course” cornice capped with a plain concrete parapet.
- Vent openings in the brickwork are typically found in the upper central portion of the facade.

The Bank building also includes some stone or terra cotta detailing, including arched door moulding and medallions.

Renovations and new infill construction within the Commercial Town Center should emulate the existing buildings by incorporating the features identified above.

2.1 BUILDING MASS AND ORGANIZATION

To assure that new and renovated buildings are compatible with the existing character and scale of the Commercial Town Center, new and infill buildings should be organized into increments of no less than twenty-five (25) feet and no more than fifty (50) feet in width (the historic parcel increments typically found in the Commercial Town Center).

Figure 3



Typical building front, south side of Center Street.

PIRU COMMUNITY

DESIGN GUIDELINES

Buildings which occupy more than fifty feet of frontage should be designed to appear as several small buildings or several smaller but related parts of a larger structure. This can be accomplished in several ways, such as incremental changes in roof eave lines and/or ridge line; changes in wall plane; grouping of windows into varying or repetitious patterns; and coordinated placement of design elements, including walls, windows, fixtures and storefronts. Therefore, the criteria covered in the sections which follow should be addressed.

2.1.1 Street Level Building Increment

At street level, building design should reflect the regular and somewhat uniform pattern of alternating facades (the "building increment") of the existing Commercial Town Center. Each building is different, although each is made up of a similar combination of entries and storefronts, interrupted by brief structural walls which serve to define the end of one shop or building and the beginning of another (see Figure 4). To support the objectives of these guidelines, the following exterior building design criteria should be applied:

a. Building Increment - Building increments should be a maximum of fifty (50) feet in width, but should typically vary between twenty-five (25) and fifty (50) feet (the historic parcel sizes within the Commercial Town Center). Buildings which exceed fifty (50) feet of frontage should be designed to reinforce the building increment and pattern of the existing Commercial Town Center.



The "building increment" - a common language spoken in different ways, gives the street variety while maintaining a strong relatedness among buildings.

b. Building Entrance - At least one building entrance should be provided every twenty-five (25) feet to encourage a high level of pedestrian activity at the street.

c. Larger Buildings - Larger buildings should be designed to appear as a collection of adjacent structures when street frontage exceeds fifty feet (see Figure 5).

d. Storefront Openings - Storefront openings should be between 10 feet and 20 feet in width. Storefront systems within these openings should be designed in substantial conformance with these guidelines.



Larger buildings should be designed to respect the historic building increment.

2.1.2 Roofline and Upper Level Building Design

Buildings within the Commercial Town Center are typically simple in mass and form. New buildings with lot frontages of fifty feet or less should present a profile expressive of this simplicity. Buildings with frontage which exceeds fifty (50) feet may incorporate changes in roof or parapet which serve to reinforce the expression of the historic building increment, as defined above. In addition, the following criteria should apply:

a. Single Story Buildings - Single story buildings should emulate the simple parapet "roofline" or profile typical of other buildings in the Commercial Town Center (see Figure 6).

b. Building Height - Building heights should match those of the existing Commercial Town Center, with average floor to ceiling heights ranging between eleven (11) and fourteen (14) feet.

PIRU COMMUNITY

DESIGN GUIDELINES



Single story building of the smallest increment.

c. Two Story Buildings - The upper portion of two story buildings should be designed to reflect a refinement of the incremental rhythms and pattern of openings found at the street level of the building facade (see Figure 7). The primary components at the upper story, such as windows, wall panels, projecting bays, etc., should typically be grouped in a manner consistent with the building increment established at street level.



Two story building of the smallest increment.

d. Cornices and Moldings - Cornices and molding, if used, should be used to unify and connect the composition of the building facade. They should be simple in character and used sparingly, consistent with other buildings of the Commercial Town Center.

2.1.3 Special Architectural Features

Highly prominent architectural features, such as towers and turrets are discouraged. If used, they should be reserved for buildings occupying key locations within the Commercial Town Center, such as a street corner.

Decorative features such as gables, bay windows, balconies, finials, etc. should be used sparingly, if at all.

2.1.4 Architectural Elements

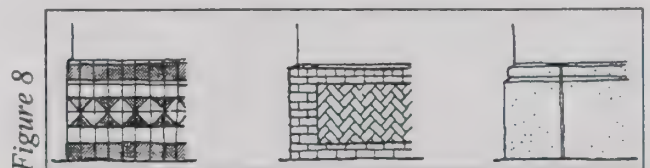
Buildings in the Commercial Town Center should incorporate some combination of architectural elements common to the historic building fabric, several of which are identified below:

a. Building Base - Where the building meets the sidewalk, and extending two (2) or more feet up the building face, is the opportunity to establish an architectural base. This base may be as simple as a change in surface texture, a projection or break in the wall plane, or a change in material or color (see Figure 8).

It is desirable to provide a base material that is highly resistant to damage, defacing and general wear and tear. Cast-in-place concrete, precast decorative concrete, stone masonry, brick and commercial grade ceramic tile are examples of excellent base materials. Hollow core fiberglass mesh reinforced precast concrete should not be used as a base material, as it is susceptible to breakage and puncture. Stucco is not a desirable material for building base.

b. Windows, Doors and Openings - Windows, doors and other openings should be detailed in a traditional manner to establish them as important parts of the total facade composition.

In general, storefront openings should be horizontal, while upper level windows should be vertical or square in orientation. Upper level windows may be paired to create a proportionate unit which is nearly square, or clustered to create pattern combinations which establish a rhythm of features of varying proportions which are related by the overall facade composition (see Figure 9).

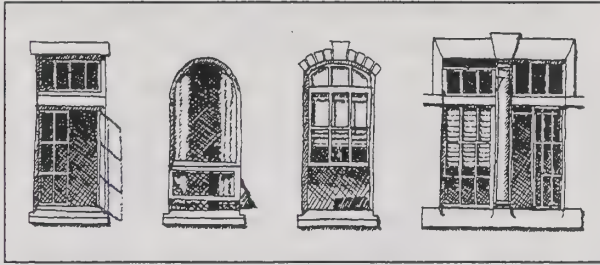


Building Base

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Figure 9



Upper level windows - can be expressed in a variety of ways.

Sills, headers and moldings can be used to frame and enhance the significance of an opening. In some cases an opening may warrant greater attention, such as at or above an entry. The molding and header may be enlarged or receive special detail in order to signify its importance in the overall facade composition. Sills and headers can also be used to tie adjacent windows together, or unify true windows and decorative wall panels.

c. Building Entries - In all cases entries should be placed a maximum of twenty-five feet apart within the Commercial Town Center. This will help maintain the intimate pedestrian scale and ensure lively pedestrian activity.

- **Doorway Entries** - Doorway entries (other than storefront entries to street level shops or secondary service entries) should be emphasized in one or more of the following ways:
 - flanked by columns, decorative fixtures or other details;
 - recessed within a larger arched or cased decorative opening;
 - covered by means of a portico (formal porch) projecting from or set into the building face (refer to zoning guidelines for allowable projections);
 - punctuated by means of a change in roof line, a tower, or a break in the surface of the subject wall.

- **Corner Entries** - Buildings situated at the corner of a public street may provide a prominent corner entrance to street level shops or lobby space, in a manner consistent with Main Entries, as described above (see Figure 10).
- **Side and Rear Entries** - Where such entries are intended to serve the general public, they should receive design treatment similar to that described above. Where such entries are intended *only as service or emergency access points*, they should be designed consistent with guidelines for Service Entries described below, except that any such entry which faces onto a public street or right-of-way should be enhanced, though to a lesser extent than a main entry.
- **Service Entries** - Are those entries which are not intended for use by the general public. The service entry should be designed to blend into the surrounding building facade, provided with simple detailing, trim and finish consistent with the character of the building, such that it should not draw particular attention to itself, but should remain attractive and easy to identify.

Where trash and or storage areas are provided in conjunction with service entries, such areas should be completely enclosed and screened from public view, by the use of walls, doors and gates designed in a manner and with materials consistent with the architecture of the buildings.

Figure 10



Corner entries - one of many ways to express the corner.

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Figure 11

A concrete parapet rests atop a soldier course of brick on a shop building in Piru's unique Commercial Town Center.

d. Cornices and Parapet Walls - should be used to delineate the building profile in a manner consistent with the historic character of the Commercial Town Center (see Figure 11).

Buildings should incorporate the following design elements:

- Parapet walls to establish a consistent profile at the street elevation (see Figure 12).
- A cornice may be used at the base of a parapet wall or roof curb. Lesser cornices of a similar architectural character may be used to complete the design at side or rear elevations which do not front on a public street.

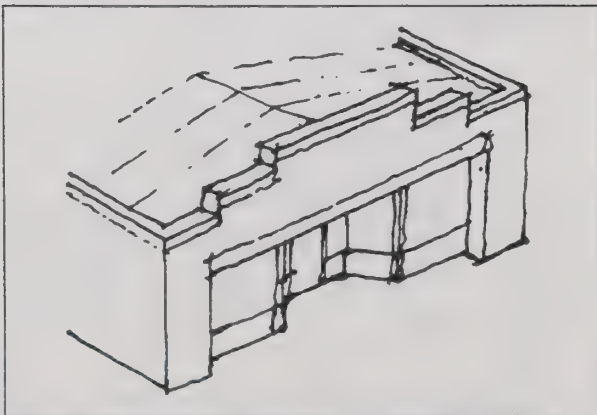


Figure 12

Parapets - establish the profile of the building front.

e. Pitched Roofs and Eaves - In the context of Piru, as in most downtown environments, pitched roofs, visible from the street, are a rare exception to the predominant and relatively uniform stage set of flat roofs and parapets. Pitched roofs should, in general, be reserved for prominently situated buildings. For example, those of a civic nature, or those occupying key sites (i.e. street corners, plaza/park frontage).

Where pitched roofs are used, the building should incorporate the following:

- Eaves of pitched roofs should join the building walls with a decorative eave cornice complementary to the design of the building face.
- Where overhang is provided, eaves should present either exposed rafter tails with decoratively shaped ends, or a decorated soffit with soffit vents incorporated into the design.
- Plain and unadorned stucco eave soffit should be avoided.

Rain gutters and downspouts should be concealed, unless designed as a specific architectural feature of the building. Where rain gutters are exposed as a design detail, they should be of copper, or properly primed and painted metal of a color complementary to the building design.

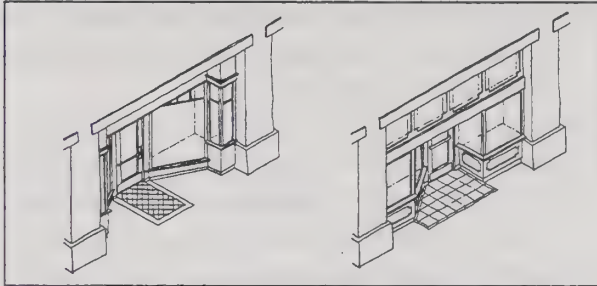
f. Side and Rear Building Facades - Building design character should be consistent over the entire building, especially where the building will be visible from publicly accessible areas, such as streets, alleys or parking areas. Although details may be simplified, elements such as finish materials, cornices and window trim should be consistent on each elevation.

g. Blank Wall Areas - Walls without openings should not be permitted at the street front. Where a building abuts a side property line at the *interior* of a block, and where that building's side wall is likely to remain visible for an extended period of time, that building elevation should reflect a design treatment consistent with the building's established street-front design.

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Figure 13



Storefronts with subtle variations lend interest to the street and keep window shoppers intrigued.

2.2 STOREFRONT DESIGN

Interesting and enticing storefronts are perhaps the most crucial ingredient in promoting a vital and active street life in a commercial district. Storefronts should be generous, providing ample display window and entry points into shops, and a level of design detail which establishes some individuality for each shop or building, while assuring a relatedness from structure to structure (*see Figure 13*). A unique aspect of buildings in Piru, most notably along the south side of Center Street, is that many of the "storefronts" are actually just large windows, rather than the more typical storefront opening which extends down to grade level. Either approach is acceptable, providing that the design is in keeping with the typical context of the Commercial Town Center.

Figure 14 illustrates the storefront design criteria and elements outlined below:

2.2.1 Maximum Storefront Opening

Storefront openings should not exceed twenty (20) feet in width. Many buildings in the Commercial Town Center have much smaller storefront openings, ranging from eight (8) to fourteen (14) feet.

2.2.2 Storefront Height

Storefront openings may extend up to fourteen (14) feet in height, but in general should range from ten (10) to twelve (12) feet in height, as measured from average elevation at the sidewalk.

2.2.3 Recess

Storefront window systems should be set into the building face. This will allow the building face material to return at the corner of the storefront opening, establishing a strong sense of mass and substance to the building.

Storefront windows should be recessed a minimum of six (6) inches from the building face, while eight (8) to twelve (12) inches is preferable.

Storefront windows and entries may be recessed a maximum of ten (10) feet from the building face.

2.2.4 Design Elements for Storefront Systems

Traditional storefront systems are made up of several parts which, when integrated, provide the opportunity for variation in detail and character, while also ensuring a relatedness from building to building (*see Figure 15*). Storefront systems should address the inclusion of most or all of the following elements:

a. Bulkhead - At the base of the storefront which extends down to grade, the bulkhead provides a transition between the sidewalk or paving and the glass display area.

Bulkhead may be of wood panel, tile, or masonry. Base materials should be compatible and consistent with

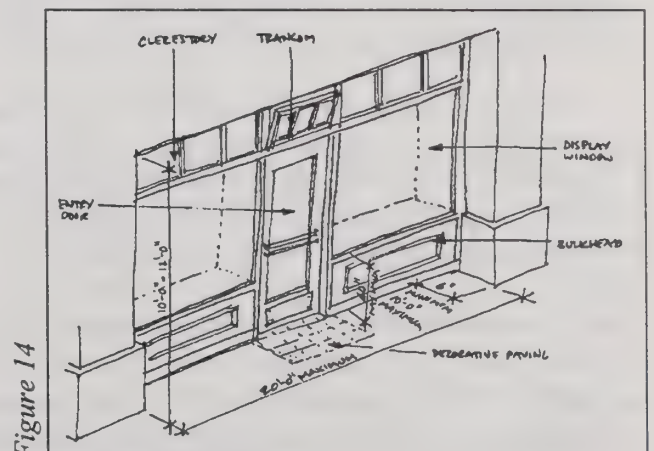


Figure 14

Storefront Design

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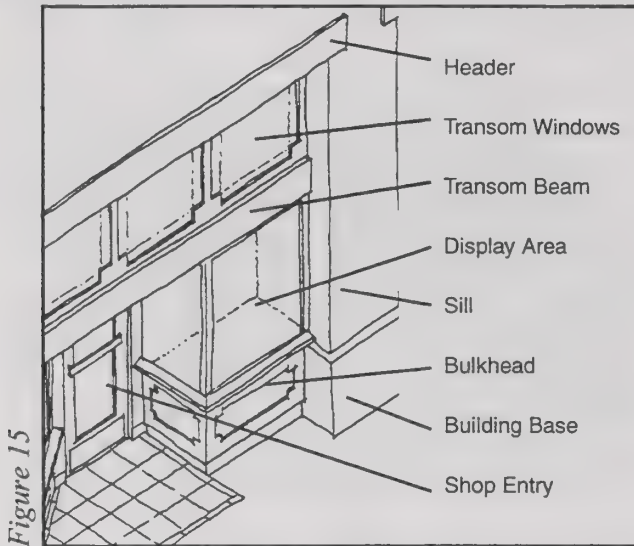


Figure 15

Design Elements - of a traditional Storefront.

the building design. Where wood is used, a curb detail should be provided to lift the wood slightly above the adjacent paved surface.

The Bulkhead and associated trim should not extend higher than forty (40) inches above adjacent paving, to assure ample window area visible to pedestrians.

b. Display Windows and Glazing - These should be generous and highly transparent.

Windows should occupy sixty (60) to seventy (70) percent of the storefront system area. Multi-pane windows may be used, but are not encouraged for the majority of display window serving retail shop space.

Dark tinted windows or windows of reflective "mirrored" glass are strongly discouraged, as they hinder pedestrian "window shopping." Where sun control is a design factor, windows should be recessed and/or provided with awning or other shading device.

c. Transom Windows - These are upper glazed openings, above display windows, which are primarily intended to provide light to the interior of the shop space. These windows typically rest atop an intermediate trim or header which is exposed or trimmed-out with sill

and glazing stops. Sometimes this beam is oversized to allow for shop signage to be placed integrally within the storefront system.

Transoms are recommended for street-level shop space in all commercial buildings within the Commercial Town Center, and should be an integral part of the building's storefront system.

Transoms need not be of transparent glass. There are a number of translucent glass types which will admit light while reducing heat gain and glare.

d. Doors and Entry Treatment - As previously stated, a building entry provides the opportunity to create a detailed point of arrival for pedestrian users (see Figure 16). This portion of the building will receive more personal contact by users than any other on the building exterior. Thus, what is seen and touched should be of attractive and durable quality.



Figure 16

Building Entry - the part of a building we see the closest - and actually touch. It should be designed to be welcoming and lasting.

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The following design elements should be considered to enhance building entries:

- Entry doors may be recessed to provide visual emphasis as well as protection from inclement weather.
- Where the entry is recessed, a decorative paving material, such as tile, marble or slate, may be used adjoining at the sidewalk edge.
- Doors should be decorative and substantial, with high quality and very durable hardware. Commercial grade materials should be used to accommodate long-term wear.
- Wooden doors should be provided with a 'kickplate' of brass or other durable material to resist wear at the door base.
- Aluminum or metal doors are out of character with the historic context and are strongly discouraged.
- Where doors are recessed, decorative ceilings, with beamwork, molding or coffering should be incorporated.
- To punctuate an entry, decorative lighting may be incorporated, either wall mounted or suspended from an ornamental ceiling.

e. Recessed Entries In Storefront - A common feature in traditional storefront design is the recessed display and entry area. This recess serves several valuable purposes: it provides weather protection at the entry; it expands the linear feet of window display that a shop may present to passersby; and, along with awnings, it helps protect displayed merchandise from costly damage by direct and prolonged exposure to sunlight.

Maximum width of such recesses should not exceed sixty (60) percent of the storefront opening.

Maximum depth of such recesses should not exceed ten (10) feet.

f. Storefront Details and Materials - In general, storefront systems should be of high quality and durable construction with traditional detailing, including moldings, beaded glass stops, paneled soffits, sills, etc. (refer to items above regarding the design features of a traditional storefront). Materials may include wood or metal, always exterior grade and of a finished quality, typically painted. Aluminum storefront systems are *not* encouraged.

g. Renovated Storefronts - Renovated storefronts should be restored to their original character. Details and materials which match the original should be used throughout, especially where visible from the street. Where renovation is not feasible, the new storefront system should be designed in the spirit of the original, incorporating like or similar details and configurations.

2.3 EXTERIOR BUILDING DESIGN

Materials should be selected based upon appropriateness to downtown Piru's early 20th Century character, the architectural style of the particular building, and lasting beauty and durability of the finish. Although the accessibility of some traditional materials may be limited, many are still available and practical. There are also contemporary materials which are quite compatible with the desired character of the Commercial Town Center.

Of primary importance is the use of quality products and the proper detailing and application of these products. One of the most important characteristics of buildings in downtown Piru is the obvious level of quality that went into the original work, both in terms of materials and details. Most downtown buildings have only one face - a front - to present to the public. The investment in quality can therefore be condensed and increased at the street face.

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2.3.1 Exterior Walls

Material for exterior walls will incorporate two aspects - color and texture. If the building's exterior design is complicated, with many "ins and outs", columns and design features, the wall texture should be simple and subdued. However, if the building design is simple (perhaps more monolithic), a finely textured material, such as patterned masonry, can greatly enrich the building's overall character.

The following materials are considered appropriate for buildings within the downtown (the number of different wall materials used on any one building should be kept to a minimum, ideally two or less):

a. Brick Masonry - brick is a very versatile material available in a wide range of colors and sizes. Brick surfaces may be patterned by combining different colors and coursework. Traditional brick work incorporates a wide array of detail applications expressive of structural and functional building components, such as beams, headers, arches, sills, bases, trim, etc.

In new construction in California, brick will almost always be used as a veneer or finish material over a frame of wood or steel, or as a facing for concrete masonry. Care should be taken to properly detail the veneer application in an authentic manner consistent with traditional masonry design (see Figure 17).



Figure 17

Brick - plays an important role in bringing visual richness to the simple buildings of Piru.

Edges and openings, such as at windows, should receive special care to assure that the masonry appears solid and substantial.

If "thin brick" or brick tile veneer is used, care should be taken to incorporate corner pieces and other details which serve to mask the veneer application.

The bonding pattern (the orientation of the brick) plays an essential role in the successful use of brick or other masonry. Bonding patterns of the existing historic context are typically very simple.

b. Stone Masonry (and veneer) - stone masonry, especially cut stone, is similar to brick in application and provides a very heavy and somewhat formal appearance. Stone also works well in combination with brick, providing a base with visual mass to "support" walls of brick masonry. Stone may be used as an inset detail on brick facades for sills, headers or other accent features, such as keystones or wall caps.

c. Stucco - stucco is a very versatile material. With proper detailing, a stucco building can achieve an elegance and level of refinement equal to that of brick masonry. In fact, the traditional "stucco" building was a masonry structure with an application of stucco applied as a finish material. For this reason, the stucco building should also convey a sense of mass and sturdiness similar to a brick or other masonry building. The same attention to detail applies here as with buildings of brick or stone.

d. Terra Cotta and other Glazed Tile - Terra Cotta tile was a common finish material for urban buildings in the early part of this century. The bank building at the southeast corner of Center Street and Main Street is a good example of the use of Terra Cotta. Other glazed ceramic materials, such as glazed tile, block or brick, may also be considered for use as an exterior wall finish. These types of materials have a hard, stain resistant surface which makes an excellent base material. Only glazed materials graded for commercial use should be considered for use as an exterior finish material.

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2.3.2 Windows

Windows make up an important part of a building facade's composition. Windows are also the connector between the life and activity on the street and that within the building. Both of these "sensed experiences" are important in establishing an urban environment that is comfortable and friendly. Because of this, attention to window detail is important.

a. Window ratio - The amount of window, other than storefront systems, at street level should occupy between 50% and 60% of the wall area. Above the street level this ratio should fall to between 30% and 50%, depending upon building style and other architectural criteria (see Figure 18).

b. Materials - Window sash and frame may be of wood or metal, painted or otherwise finished to provide a durable and long lasting surface. Where divided windows are desired, true-divided lites are strongly recommended. "Snap-in" type mullions or grilles which simulate this appearance are not recommended.



Figure 18

Window Proportions - at street level, openings should be 50% to 60% of the face, with 30% to 50% at the second floor.

c. Glazing - Clear glazing is preferable, especially where street level display is the objective. Where tinted glazing is used, the tint should be kept as light as possible. Dark windows create the impression of emptiness. "Low E" coating, which appears clear, is recommended where heat gain is a concern. Reflective or mirrored glazing is strongly discouraged.

2.3.3 Roofs

Visible roof elements should be designed consistent with the general building character. Materials and colors should compliment the style of the architecture. Roof elements may include the following:

a. Flat roof - areas should be detailed and of a material to provide a clean, uniform appearance from windows of adjacent buildings.

b. Pitched roofs - should be designed to crown or punctuate the building. Roof elements should terminate with detailed eaves, utilizing eave molding, shaped rafter tails or other means of termination appropriate to the architecture of the building.

c. Mansard type roofs - should be avoided, unless specifically related to the architectural style of the building (as in the "Victorian" style).

d. Dormer type roof elements - may be incorporated into sloped roof designs, especially where such roof area occupies a substantial percentage of the building's linear frontage.

e. Materials - Acceptable materials include the following:

- **Clay or concrete tile** - commercial grade, of a color and style complimentary to the building design.
- **Ceramic tile** - on decorative elements such as domes or parapets.
- **Metal seam** - standing seam or batten seam, natural copper, anodized or factory coated finishes. Site painted metal roofing is not recommended.

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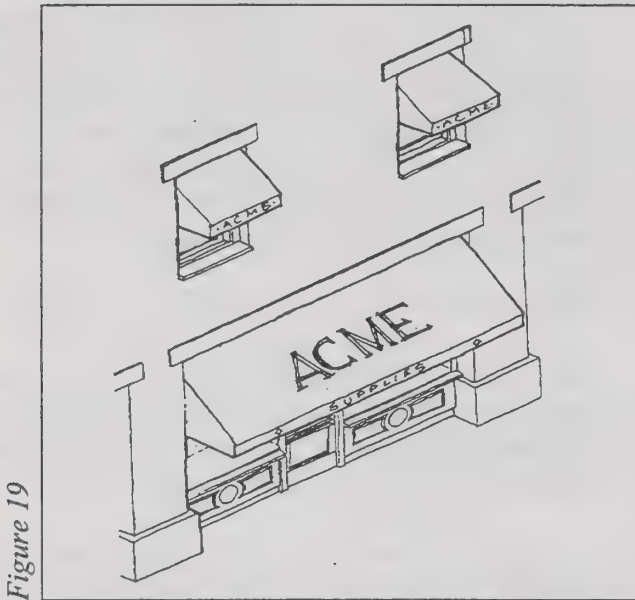


Figure 19

Awnings - simple, retractable awnings provide very functional sun protection and design interest.

2.3.4 Building Accessories and Details

There are a number of design elements which may be incorporated into the building design, especially at street level, in order to add to the experience of the pedestrian while meeting important functional needs as well. The following accessories and details are recommended for inclusion in the building:

a. Awnings - Awnings provide the opportunity for color and visual relief. Awnings serve a very functional purpose by protecting shop windows from intense direct sunlight. The most functional awnings are "retractable", having a frame and support structure with the ability to be adjusted up or down depending upon lighting conditions. Where awnings are used, it is recommended that they be of *retractable* design (see Figure 19).

Awnings should be of a durable, commercial grade fabric, canvas or similar material having a matte finish. Awning frames and supports should be of painted or coated metal or other noncorroding material. Glossy or shiny plastic or similar awning material is not recommended.

b. Venting, Grillework and Other Details - There are a number of details, often thought of as mundane, which may be incorporated into the design to add a degree of visual richness and interest while meeting functional needs. Such details include items such as the following:

- Vent openings can be seen in several of the buildings in the Commercial Town Center. These are achieved by a simple voiding pattern in the masonry face. The openings are typically provided with internal screening to keep out birds and insects.
- Metal grillework, at vent openings or as decorative features at windows, doorways or gates;
- Decorative scuppers, catches and downspouts, preferably of copper;
- Balconies, rails, finials, corbels, plaques, etc.;
- Flag or banner pole brackets;
- Fire sprinkler stand pipe enclosures and hose-bib covers, preferably of brass.



Figure 20

Brickwork Vent - a simple vent detail helps reinforce the humble language of Piru's existing Commercial Town Center.

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c. **Exterior Color Design** - Exterior colors play an important role in the way we perceive a building and its details. Colors can be used to draw attention to specific parts of a building, such as entries. Color can also be used to mask or diminish the visual importance of a particular feature, for instance a service area, simply by altering colors, or the contrast between surfaces and details, in a certain area. In general, contrast (light against dark or dark against light) will call for your attention, for better or for worse. Consideration for these issues should be given as noted below:

- **Primary Exterior Building Colors** - should be muted and earthen, while trim and detail colors should provide a contrasting accent. Several paint manufacturers provide historic color palettes as a reference for period color design.
- **Neutral or Light Colored Walls** - should be contrasted with a darker more intense trim color, while dark colored walls should be contrasted with light colored accents and details.
- **Finish Materials with Natural Colors** - materials such as brick, stone, copper, etc. should be used where practical and left in their natural colors.
- **Bright or Intense Colors** - should be used sparingly, and should typically be reserved for more refined or delicate detailing, such as grillework, as well as more transient features such as awnings, signs and banners.

2.4 ADDITIONS, RENOVATIONS AND RESTORATIONS

With few exceptions, buildings within the Commercial Town Center already possess the desired characteristics which this Plan is intended to support. Modifications to buildings with these characteristics, and especially to buildings having historical significance, must be done with extreme care and respect for this existing character, and in accordance with the following:

2.4.1 Preservation of Traditional Features and Details

Sensitive response to existing materials, details, proportions, as well as patterns of materials and openings is required when any such work will affect the appearance of an existing building's exterior.

2.4.2 Windows and Window Replacement

Where existing windows are to be replaced, they should match the originals in design character. Where new window openings are to be provided, sizes and patterns of existing window openings should be matched or closely replicated.

In the case of historically designated buildings, replacement of existing windows should be done in such a manner as to match the originals as closely as possible.

2.4.3 Doors and Door Replacement

Where existing doors are to be replaced, they should match the originals in design character. Where new door openings are to be provided, sizes and patterns of existing door openings should be matched or closely replicated.

In the case of historically designated buildings, replacement of existing doors should be done in such a manner as to match the originals as closely as possible.

2.4.4 Removal of Elements Inconsistent with Original Facade

Buildings are often altered over time in an effort by owners or shopkeepers to "keep up with changing times" or to "remake a tired image." Unfortunately, such changes often ignore the original design integrity and are executed in a "tacked-on" and often destructive manner. Such changes result in gradual but severe erosion of the original character and cohesion of the downtown. Restoration of buildings which have been substantially or carelessly altered is strongly encouraged.

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2.4.5 Additions to Existing Buildings

Additions should be done with care and sensitivity to assure a compatibility between the old and new. In general, any addition to an existing building should reflect one of the following two basic approaches:

a. Replication of Existing Character - In which the design incorporates the proportions, details and features of the existing building or adjacent buildings in a manner very similar or identical to the original construction.

b. Interpretation of Existing Character - In which the new design responds to the existing building "sympathetically." For example, using like proportions in combination with stylized or simplified details inspired by the originals.

2.4.6 Seismic Retrofitting

As a result of the Northridge earthquake of January 1994, many of the buildings in Piru's Commercial Town Center have been structurally modified to increase seismic strength. Where additional structural improvements for seismic retrofitting are to affect the building exterior, such improvements should be done with care and consideration for the impact on appearance of the building. Where possible, such work should be concealed; where not possible or practical, the improvements should be planned to carefully integrate into the existing building design.

Seismic tie straps, to secure floor and roof framing to the adjacent walls, are one of the most common improvements made today. However, the straps are often installed by workers with no guidance about the careful placement of the ties. Often the tie holes are drilled without alignment or through key features or details, resulting in a haphazard and destructive result which can permanently scar the building.

Seismic improvements should receive the same care and forethought as any other building modification, and an exterior building elevation is required showing the location and appearance of all such improvements.

3. RAILROAD PROPERTY DEVELOPMENT GUIDELINES

As was previously stated, a key intent of these guidelines is to maintain a clear difference between the character of the Commercial Town Center and other developed areas. This concern applies especially to commercial development at Highway 126 and on the Railroad Property. Such development should not attempt to mimic the urban forms of the Commercial Town Center. Instead, structures at these locations should reflect a more agrarian or rural country aesthetic, with regard to the highway commercial, and a traditional railroad design with regard to the railroad-oriented buildings, as described herein.

3.1 CHARACTER AND SCALE

The "Railroad Property" was the site of the original Railroad Depot, constructed by David Caleb Cook in the late 1800's to provide rail service for visitors and in support of his citrus ranching. The original depot is gone, and except for a portion of the original packing house, the property has remained mostly undeveloped for nearly a century as the town has grown up around it. These guidelines establish appropriate and differing design requirements for structures on the Railroad property, and similarly for Highway-related commercial development (see Figure 21).



Railroad Buildings - these buildings should be distinct from the buildings of the Commercial Town Center - rural, not urban in character.

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3.2 THE DEPOT AND SUPPORT STRUCTURES

Development on this portion of the property should provide a backdrop of railroad related architecture, reflecting the simple agrarian character appropriate to the small town character of Piru. One building representing the original Depot, possibly a reconstruction, should establish a focus or main element for the site. Other buildings should emulate a more utilitarian or packing house character, not without detail and prominence, but of a simpler nature. Unlike the buildings of the Commercial Town Center, these buildings should reflect the simple forms, materials and design typified by the original Piru Depot, the packing house (prior to present day modifications) and other railroad related structures, incorporating pitched roofs, overhangs, and heavier more rustic detailing than will be found in the Commercial Town Center.

In addition, docks, deck areas and loading platforms can play an important role in reestablishing the presence of the railroad. These areas are typically raised along with the associated buildings, to provide more direct access to the trains. In these situations the deck areas should be made to look as authentic as possible while also addressing contemporary code issues, such as wheelchair access and provision of guard rail.

3.3 SITE DEVELOPMENT

The Piru Community Enhancement Plan incorporates a Conceptual Site Plan for the Railroad Property depicting a level of site development compatible with the Community of Piru's desire to maintain a low-key rural community with opportunities for tourism. The proposed development of the Railroad Property provides a new community focus in the form of a Town Square and Town Green, and provides for a moderate degree of tourist-related development supportive of the tourist-train and day trip users from Ventura and Los Angeles Counties. This Site Development Concept includes:

- The provision of important public space, in the form of a Town Square and Town Green, for community activities and special events, supported with restrooms, a bandstand, and other related amenities.
- The provision of railroad and tourist-related buildings, including a loading platform, a "depot building" (possibly a reconstruction of Cook's original depot), conversion of the remaining portion of the Piru Packing House into a Museum (and possibly reconstruction of the portion which was demolished), an open-air "Citrus Market Pavilion" which could be made available for festivals, community events, craft shows and farmer's markets.
- Development of a community trail for walking/biking, using a portion of the Railroad Property to connect from Main Street at Via Fustero through the Commercial Town Center to Warring Park. This trail could eventually be linked to a Countywide Trail System.

3.4 EXTERIOR BUILDING MATERIALS

Exterior building materials should be selected based upon appropriateness to Piru's original railroad architecture, the architectural style of the particular building, lasting beauty and durability of the material.

Wood is the preferred exterior finish material for:

- wall siding, typically "ship-lap."
- posts, heavy timber, often shaped.
- decks and ramps.
- railings, traditionally detailed.
- exposed rafter and eave areas.

Materials for window sash and frame should be of wood, painted to provide a durable and long lasting surface. Where divided windows are appropriate, true-divided lites should be used. "Snap-in" type mullions or grilles which simulate this appearance are not recommended.

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3.5 ROOFING ELEMENTS AND MATERIALS

Pitched roofs are encouraged in buildings on the Railroad Property, in keeping with the historic references. Roof planes should terminate with detailed eaves, utilizing eave molding, shaped rafter tails or other means of termination appropriate to the architecture of the building.

Dormer type roof elements, either for window or venting, may be incorporated into pitched roof designs, especially where such roof area occupies a substantial percentage of the building's linear frontage.

Acceptable Roofing Materials include:

- *Wood shake or shingle*, if permitted by the County Fire Department.
- *Higher grade composition shingles* with "dimensional thickness."
- *Concrete tile*, of a commercial grade, color and style complimentary to the building design.

"Flat roof" areas should be minimized or avoided.

3.6 EXTERIOR COLOR DESIGN

Exterior colors play an important role in the way we perceive a building and its details. Colors can be used to draw attention to specific parts of a building, such as entries. Color can also be used to mask or diminish the visual importance of a particular feature, for instance a service area, simply by altering colors, or the contrast between surfaces and details, in a certain area. In general, contrast (light against dark or dark against light) will call attention, for better or worse. These issues should be considered as noted below:

3.6.1 Primary Exterior Building Colors

Should be muted and earthen, while trim and detail colors should provide a contrasting accent. Several paint manufacturers provide historic color palettes as a reference for period color design.

Neutral or light colored walls should be contrasted with a darker more intense trim color, while dark colored walls should be contrasted with light colored accents and details.

3.6.2 Finish Materials with Natural Colors

Materials such as brick, stone, copper, etc. should be used where practical and left in their natural colors.

3.6.3 Bright or Intense Colors

Should be used sparingly, and should typically be reserved for more refined or delicate detailing, such as grillework, as well as more transient features such as awnings, signs and banners.

4. HIGHWAY COMMERCIAL DEVELOPMENT GUIDELINES

Highway commercial development at the Town of Piru should remain very limited in quantity and use. Like the buildings on the Railroad Property, this development should present a clear contrast to the buildings of the Commercial Town Center. The Highway Corridor in this area remains very picturesque, with orchards, streams and small farms set against a backdrop of sturdy hills. The existing commercial development at the intersection of Main Street and Highway 126, although worn and weathered, feels as though it belongs to the valley, and represents an authentic example of highway commercial development of the region (see Figure 22).



Existing highway commercial - the Plan acknowledges the need for revitalizing Piru's highway frontage consistent with the image of the town.

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New highway commercial development should reflect some of this rustic, rural character, with shady porches, wood siding, pitched roofs, etc.

4.1 SITE DEVELOPMENT

It is recommended that development be oriented with buildings toward the highway and parking situated either adjacent to or behind to minimize the negative visual impact of a large expanse of paving and cars. Buildings should be set back from the highway, and should maintain a low profile, minimizing obstruction of valley and orchard views from the highway. Site improvements should take care to preserve the rural atmosphere of the setting, extending the rustic character of the buildings into the site with landscaping, lighting and fencing consistent with the rural theme.

4.2 BUILDING DESIGN

Buildings should be designed to avoid a large, monolithic appearance. As mentioned above, the rustic character of farm and ranch architecture is recommended for this setting. Exterior building materials should be selected based upon appropriateness to the region, the architectural style of the particular building, lasting beauty and durability of the finish.

Wood is the preferred exterior finish material for:

- Wall siding, typically “ship-lap.”
- Posts, heavy timber, often shaped.
- Porches.
- Railings, traditionally detailed.
- Exposed rafter and eave areas.

Materials for window sash and frame should be of wood, painted to provide a durable and long lasting surface. Where divided windows are appropriate, true-divided lites should be used. “Snap-in” type mullions or grilles which simulate this appearance are not recommended.

4.3 ROOFING ELEMENTS AND MATERIALS

Pitched Roofs are recommended. Roof planes should terminate with detailed eaves, utilizing eave molding, shaped rafter tails or other means of termination appropriate to the architecture of the building. Dormer type roof elements, either for window or venting, may be incorporated into pitched roof designs, especially where such roof area occupies a substantial percentage of the buildings linear frontage. Mansard roofs should be avoided. “Flat roof” areas should be minimized or avoided.

Acceptable roofing materials include:

- *wood shake or shingle*, if permitted by the County Fire Protection District.
- *higher grade composition shingles* with “dimensional thickness.”
- *concrete tile*: commercial grade, of a color and style complimentary to the building design.

Aluminum or other nontraditional materials are not recommended.

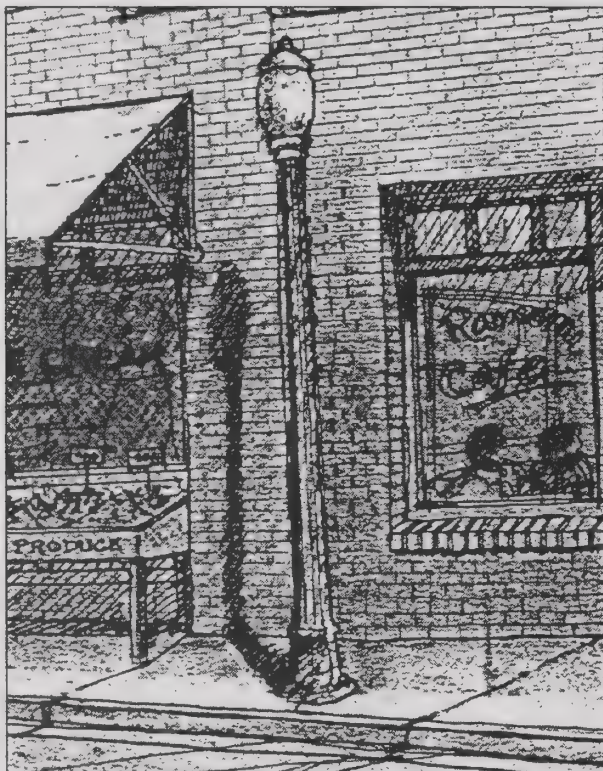
4.4 EXTERIOR COLOR DESIGN

Exterior colors play an important role in the way we perceive a building and its details. Color can be used to draw attention to specific parts of a building, such as entries. Color can also be used to mask or diminish the visual importance of a particular feature, for instance a service area, simply by altering colors, or the contrast between surfaces and details, in a certain area. In general, contrast (light against dark or dark against light) will call attention, for better or worse. These issues should be considered as noted below:

a. Primary Exterior Building Colors - Colors should be muted and earthen, while trim and detail colors should provide a contrasting accent. Several paint manufacturers provide historic color palettes as a reference for period color design.

PIRU COMMUNITY DESIGN GUIDELINES

Figure 23



Street Lighting - the Enhancement Plan calls for traditional lighting in the Commercial Town Center.

Neutral or light colored walls should be contrasted with a darker more intense trim color, while dark colored walls should be contrasted with light colored accents and details.

b. Finish Materials with Natural Colors - Materials such as brick, stone, copper, etc. should be used where practical and left in their natural colors.

c. Bright or Intense Colors - Should be used sparingly, and should typically be reserved for more refined or delicate detailing, such as grillework, as well as more transient features such as awnings, signs and banners.

5. GENERAL ARCHITECTURAL AND SITE LIGHTING

Lighting should be considered as an integral part of building design (see Figure 23). Proper lighting de-

sign will have a positive effect on the building and its users, as well as help to promote a safe and enjoyable nighttime pedestrian environment in the downtown core.

5.1 TYPES OF LIGHTING

Within the commercial areas there will be a need for several exterior lighting types:

a. Area Lighting - is for public and private parking lots, alley ways, parkways and walks. Such lighting should be set in a manner that assures maximum lighting benefit without allowing stray light to intrude into windows of nearby residents or to create glare problems for nearby automobile traffic.

b. Ornamental Lighting - is not intended to light large areas or wall surfaces. Ornamental lighting plays an important role in bringing visual life to streets at night (see Figure 24). Colors, finishes and design of ornamental lighting should be compatible with the design characteristics of the architecture.

c. 'Hidden Source' Lighting - is for certain prominent architectural features. Hidden source lighting can be used to create dramatic effects, illuminating towers or other unique architectural characteristics. Such lighting can be concealed in soffits, behind ledges or parapets, or even set into landscape areas with the light directed at the desired element to be highlighted.

Figure 24



Lighting - can add a functional punctuation to the building exterior.

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5.2 DESIGN INTEGRATION

It is recommended that a lighting design professional be consulted as an integral part of the design process for determining types and intensities of lighting to be used. In addition, the following "rules of thumb" should apply:

- Use the minimum brightness necessary for illumination of large areas.
- Use brighter, more intense lighting to highlight architectural features and focal points.

5.3 MATERIALS

Lighting fixture materials should be compatible with the design objectives of these guidelines. Where lighting is mounted to a building, its materials, finishes and colors should compliment and coordinate with those of the building. Lighting fixture material recommendations include:

a. Glass and Globes:

- clear acrylic or polycarbonate with fresnel patterns.
- borosilicate glass.
- translucent clear-frosted or white acrylic or polycarbonate globes.

b. Glass and Globes which are not recommended:

- clear or tinted smooth finish acrylic or polycarbonate globes.
- any dark-tinted or mirrored glass diffusers.

c. Recommended lamp types:

- color corrected high pressure sodium (HPS).
- color corrected metal halide (3,000 degree K).
- color corrected standard fluorescent (2,700-3,000 degrees K).

- clear or tinted smooth finish acrylic or polycarbonate globes.

- any dark-tinted or mirrored glass diffusers.

c. Recommended lamp types:

- color corrected high pressure sodium (HPS).
- color corrected metal halide (3,000 degree K).
- color corrected standard fluorescent (2,700-3,000 degrees K).

d. Lamps which are not recommended:

- Standard "peach" high pressure sodium.
- low pressure sodium.
- standard mercury vapor.
- non-color-corrected, standard fluorescent.

It is recommended that a professional lighting consultant be involved in any project where business success depends upon quality lighting and display.

6. SIGN GUIDELINES

Commercial signs are one of the most important elements of a healthy downtown core. Signage communicates more than just the name of a business. It communicates the degree to which the businesses in that core are alive and whether or not those businesses still care about the business they are doing. A well maintained sign, with bright colors and lighting that is functional, says to potential customers "We are here, we care and we want your business." Likewise, a dull and worn sign says "We are tired and may not be around much longer - your business isn't that important to us."

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Figure 25



Essential communication - good signing says "We are open for business and customers are welcome!"

These guidelines are intended to encourage excellence in signage, as a communication tool and as an art form (see Figure 25) to attract customers, make a statement about the quality of the businesses represented, and to contribute positively to the overall quality of the downtown core. Businesses are encouraged to use signage in a manner that will clearly express the spirit of their unique enterprises while at the same time enriching the visual life of the downtown street for everyone (see Figure 26).

6.1 TYPES OF RECOMMENDED SIGNS

The following sign types are recommended within the Commercial Town Center:

a. Wall Signs - should be located on the building face in an area specifically intended for signage, or where such signage will appear integral to the building design. Such signs may be flush-mounted - attached panel or individually mounted letters. "Can" or cabinet type wall signs are not encouraged. Wall signs should not block or cover any significant architectural features or details of the building.

b. Painted Signs - applied directly onto the building face in an appropriate location.

c. Projecting Signs - may be attached to the building such that no portion of the sign extends lower than seven (7) feet above the adjacent finished grade, nor may any portion extend beyond three (3) feet from the face of the building wall. Projecting signs may be directly attached to the building face, or suspended from decorative brackets. The sign face and structural support should be designed as a compatible unit and should be attached to the building in a manner which will not damage or interfere with the building character.

Figure 26



Variety with balance - these guidelines provide for a variety of signing needs within a framework that

d. Figurative Signs - advertise the occupant business through the use of graphic or crafted symbols, such as shoes, keys, glasses, books, etc. are encouraged (see Figure 27). Figurative signs may be incorporated into any of the allowable sign types identified here.

e. Awning and Canopy Sign - should be integrated into the design of the awning or canopy, subject to the following:

- Sign area should be limited to twenty (20) percent or less of the total awning or canopy area.
- Internal or "backlit" illumination is not recommended.

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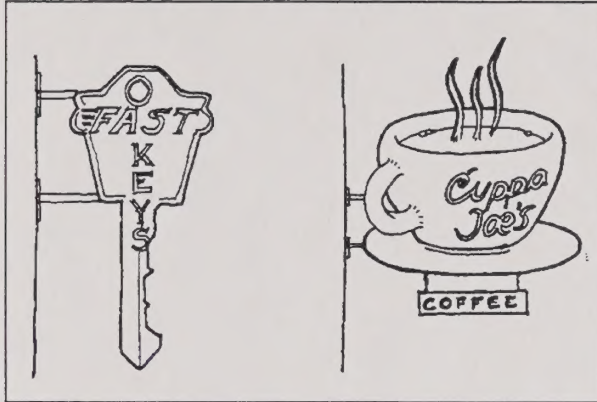


Figure 27

Figurative Signs - good signing says a lot with only a few words.

f. Applied Window Signs - must be applied or painted directly onto the glass, and should not exceed thirty (30) percent of the window area at street level, or twenty (20) percent of the window at the second floor. Window signs should not be painted over an opaque background, in order to preserve transparency of the window.

g. Directional, Alley and Service Signs - should be discreet and integrated into the design of the building being served.

h. Murals - should be allowed only on blank side walls of buildings, and should be subject to special review and approval.

6.2 DESIGN INTEGRATION

In all cases, the location, style and detail of the sign should be compatible with, and reflect the spirit and quality of, the Piru Community Design Guidelines, utilizing text, graphics and design features which promote the image of "small town America's Main Street."

6.3 ALLOWABLE SIGN AREA

Total aggregate allowable sign area for any building should not exceed one square foot of sign area for ev-

ery lineal foot of building frontage (that portion which faces the street), up to a total of 100 square feet. Buildings which face two streets, such as at a corner, may count both frontages in calculating the maximum area, not to exceed 120 square feet of total sign area.

6.4 SIGN LIGHTING

Lighting should be considered as an integral part of sign design, and may be either internal or external, with the following considerations:

- Where light fixtures are visible, they should be compatible in character with both the sign and the building design.
- Outside lighting should be directional, and should be positioned such that no glare or hazard is created for onlookers (see Figure 28).

6.5 RECOMMENDED MATERIALS

The following materials are recommended for use in signs:

- **Wood** - carved, sandblasted, etched, and properly sealed, primed and painted, or stained.

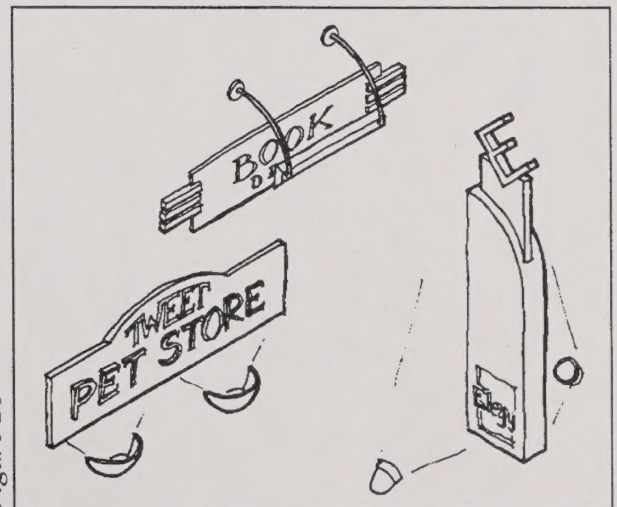


Figure 28

Sign Lighting - well integrated lighting becomes a part of the sign's design statement.

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- ***Metal*** - formed, etched, cast, engraved, and properly primed and painted or factory coated to protect against corrosion.
- ***High density preformed foam*** or similar material new materials may be very appropriate if properly designed in a manner consistent with these guidelines, and painted or otherwise finished to complement the architecture.
- ***Custom neon tubing***, in the form of graphics or lettering, may be incorporated into several of the above permitted sign types.
- ***Unique materials*** and designs which are not identified here, but which are compatible with the objectives of this Specific Plan may be considered, subject to review and approval by the Planning Director.

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